

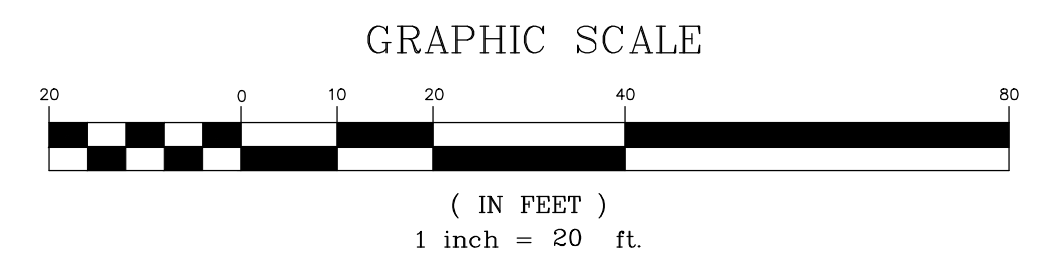
EXISTING TOPOGRAPHY LEGEND

	TYPE "8" INLET		UTILITY POLE w/ LIGHT
	TYPE "12" INLET		LIGHT POLE
	MANHOLE (LABELED)		WALL MOUNTED LIGHT
	CLEAN OUT		OVERHEAD WIRES
	HYDRANT		JUNCTION BOX
	WATER VALVE AND BOX OR SERVICE		TRANSFORMER
	GAS VALVE AND BOX OR SERVICE		UTILITY POLE WITH GUY WIRE
	CURB (TYPE - LABELED)		TREE (DECIDUOUS) WITH CALIPER
	SIWALK		TREE (CONIFEROUS) WITH CALIPER
	SANITARY SEWER PIPES (TYPE AND SIZE LABELED)		INDIVIDUAL SHRUBS & BUSHES
	STORM SEWER PIPES (TYPE AND SIZE LABELED)		HEDGES OR BUSHES
	UNDERGROUND CONDUIT (LABELED)		WATER LINE
	GAS LINE MARKOUT		EDGE OF WOODS
	TELEPHONE LINE		EXISTING CONTOUR LINE
	ELECTRIC LINE		EXISTING SPOT ELEVATION
	CHAIN LINK FENCE		RAIL ROAD TRACKS
	POST & RAIL FENCE		GUIDE RAIL (LABELED)
	RAILING (LABELED)		HEADWALL
	GATE (SINGLE)		FLARED END SECTION
	GATE (DOUBLE)		CONC. SIDEWALK
	WELL (LABELED)		BRICK SIDEWALK
	SPIGOT		
	SPRINKLER CONTROL BOX		

LIST OF ABBREVIATIONS

ACP	ASBESTOS CEMENT PIPE	DC	DN CENTER
BC	BOTTOM OF CURB	P.E.	POLYETHYLENE PIPE
BLG	BUILDING	PGB	POINT OF BEGINNING
BLK	BLOCK	PIC	POINT OF CURVATURE
BIT	BITUMINOUS	PI	POINT OF INTERSECT
BM	BENCHMARK	PVI	POINT OF VERTICAL INTERSECT
BOL	BOLLARD	PT	POINT OF TANGENCY
CIP	CAST IRON PIPE	RF	ROOF DRAIN
C	CENTERLINE	RF	ROOF FENCE
CLF	CHAIN LINK FENCE	RCP	REINFORCED CONCRETE PIPE
CP DRCMP	CORRUGATED METAL PIPE	ROF	ROOF
CONE	CONCRETE	SAN	SANITARY
DI	DUCTILE IRON	SCB	SPRINKLER CONTROL BOX
ELEV	ELEVATION	SF	SPLIT RAIL FENCE
EL	ELECTRIC	SD	STOCKADE FENCE
FF	FINISHED FLOOR	STH	STORM
FND	FOUND	STY	STORY
FR	FRAME	S/W	SIDEWALK
GR	GRATE	TELE	TELEPHONE
GR	GRASS	TR. LT.	TRAFFIC LIGHT
IN	INVERT	TR. OF WALL	TOP OF WALL
IP	IRON PIPE	TYP	TYPICAL
LA	LANDSCAPED	UC	UNDERGROUND CONDUIT
MN	MANHOLE	UP	UTILITY POLE
MN	MINIATURE	VCP	VITRIFIED CLAY PIPE
MW	MONITORING WELL	W	WITH
		WF	WELDED IRON FENCE

- NOTES**
1. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH N.J.A.C. 13:40-5
 2. FLOOD ZONES, SUBSURFACE AND ENVIRONMENTAL AND OR HAZARDOUS MATERIALS LOCATION, IF ANY, WERE NOT EXAMINED OR CONSIDERED AS A PART OF CONTRACT.
 3. VERTICAL DATUM IS NGVD 1929, MK. NO. 16.3630.
 4. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON VISIBLE ABOVE GROUND STRUCTURES, FIELD DATA, UTILITY MARKINGS AND/OR RECORDS FURNISHED BY VARIOUS AGENCIES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UNDERGROUND UTILITIES AND OR STRUCTURES. ZL LAND SURVEYING MAKES NO GUARANTEES EXPRESS OR IMPLIED, REGARDING THE UTILITY LOCATION AS PLOTTED ON THIS PLAN. THIS PLAN DOES NOT IMPLY THAT NO OTHER UTILITIES MAY BE PRESENT ON THE SITE. IT IS THE RESPONSIBILITY OF THE USER OF THIS SURVEY TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES BY CONTACTING THE PROPER UTILITY AGENCIES, PRIOR TO ANY GROUND DISTURBANCE.
 5. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1 (d).
 6. FIELD SURVEY COMPLETED ON 09/19/2022.

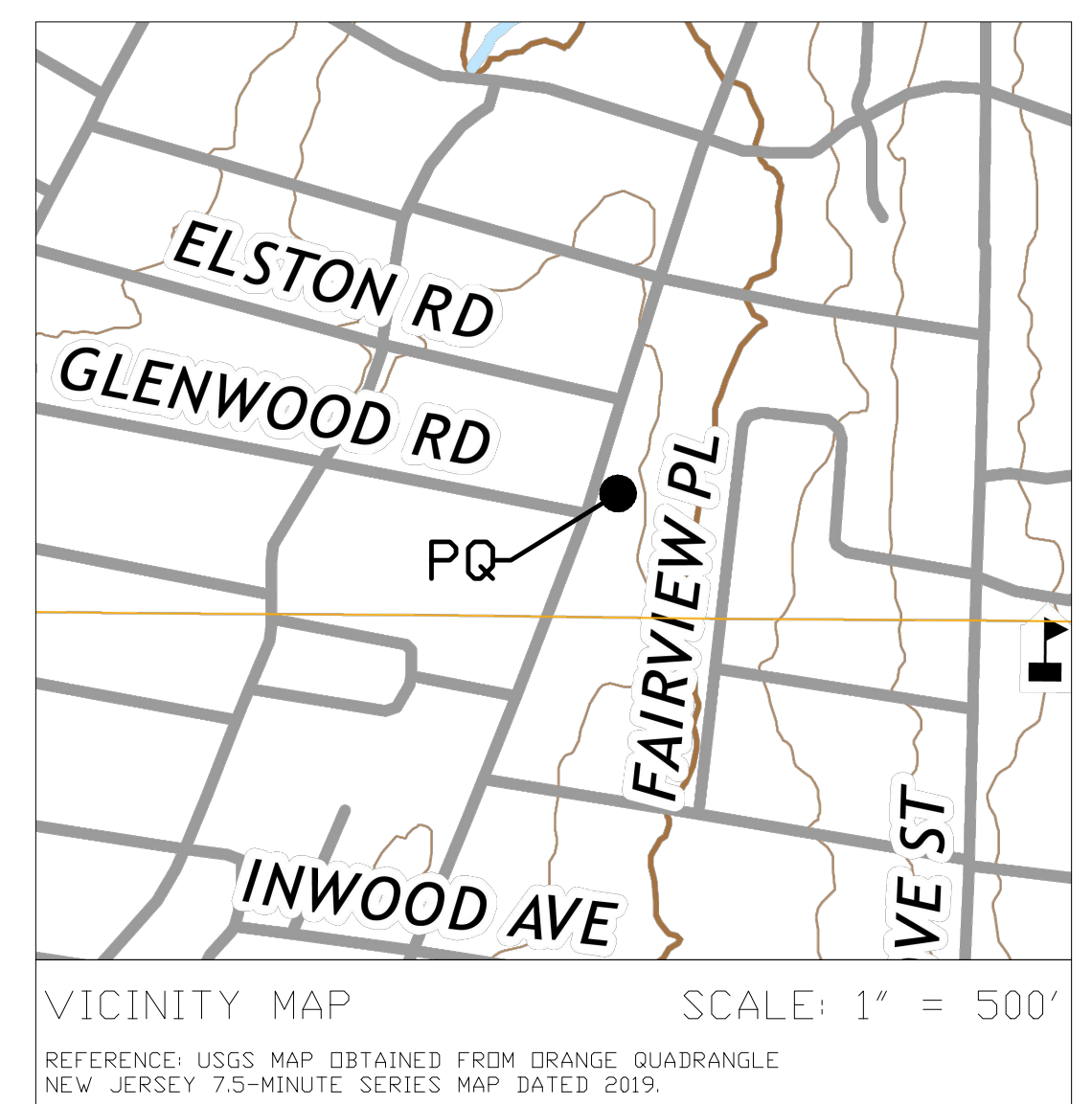


THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS #2, 4.3, 5.11, AND 14 OF TABLE "A". THE FIELD WORK WAS COMPLETED ON 09/19/2022.

DATE OF PLAT OR MAP: MARCH 02, 2023

 Zdravko Lucin, Professional Land Surveyor
 New Jersey License No. 36260
 Date: MARCH 02, 2023

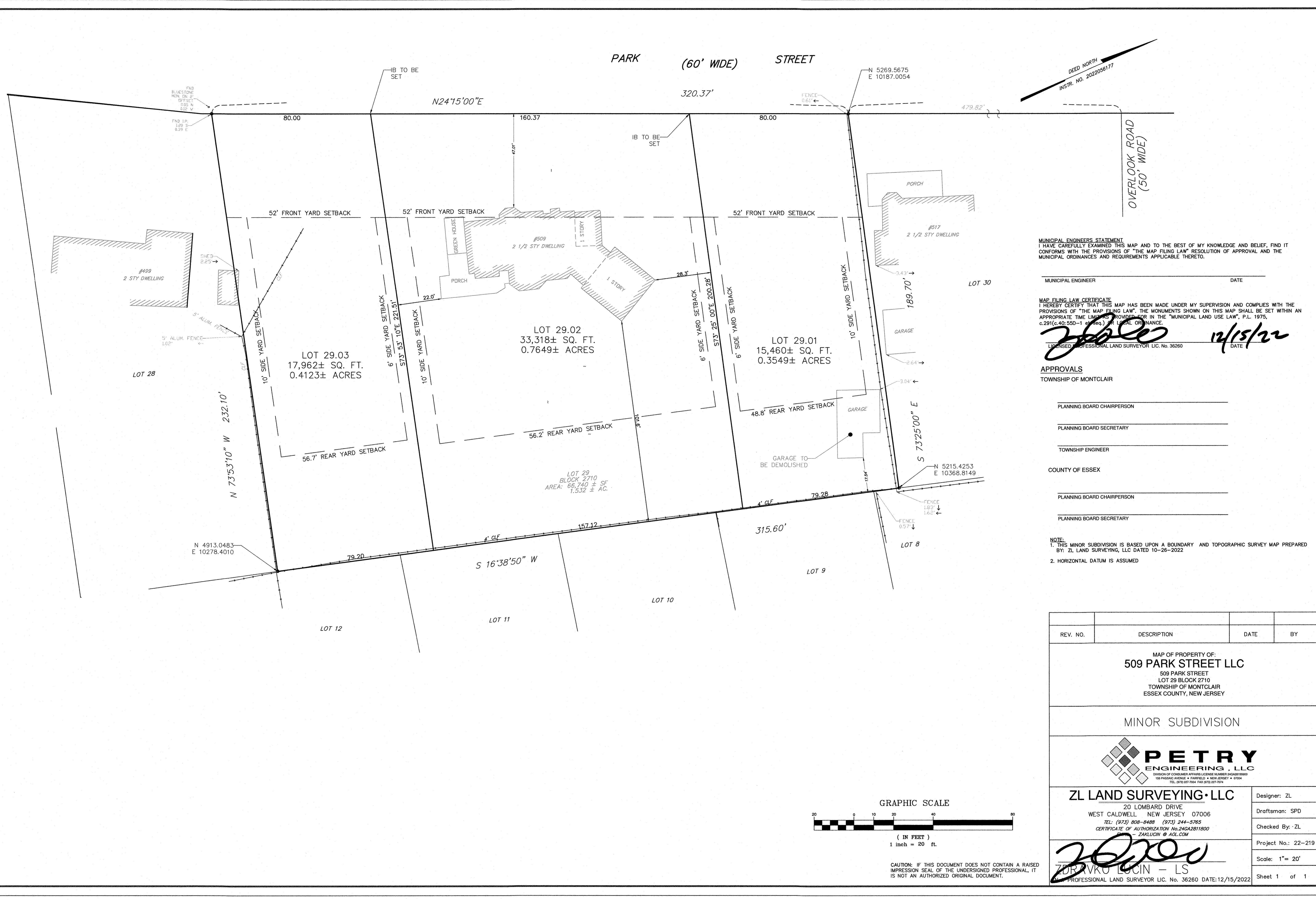
- REFERENCES:**
1. FILED MAP ENTITLED "MAP OF APPLIGATE, PROPERTY OF JACK GREEN HOMES, INC., TOWN OF MONTCLAIR, ESSEX COUNTY, N.J." DATED DEC. 15, 1959, REV. FEB. 8, 1960 AND FILED IN THE ESSEX COUNTY REGISTRAR'S OFFICE ON SEPTEMBER 7, 1952 AS MAP NO. 2645.
 2. DEED RECORDED IN THE ESSEX COUNTY REGISTRAR'S OFFICE
 BLOCK 2710 LOT 1 DEED BK. 6084 PG. 237
 LOT 28 DEED BK. 2537 PG. 495
 LOT 29 INSTR. NO. 2022056177
 LOT 30 INSTR. NO. 2022019166
 LOT 31 DEED BK. 4666 PG. 73
 3. THE OFFICIAL TAX MAP OF THE TOWNSHIP OF MONTCLAIR, NJ.



REFERENCE: USGS MAP OBTAINED FROM ORANGE QUADRANGLE NEW JERSEY 7.5-MINUTE SERIES MAP DATED 1919.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

REV. NO.	DESCRIPTION	DATE	BY
MAP OF PROPERTY OF 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY			
ALTA/NSPS LAND TITLE SURVEY			
 DIVISION OF CONSUMER AFFAIRS LICENSE NUMBER 0402115000 105 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL: 973.267.7000 FAX: 973.267.7004			
ZL LAND SURVEYING • LLC 20 LOMBARD DRIVE WEST CALDWELL NEW JERSEY 07006 TEL: (973) 808-8488 CERTIFICATE OF AUTHORIZATION No.24CA2811800 EMAIL - ZL@ZLCOV.NJ.AOL.COM			Designer: ZL Draftsman: DJK Checked By: ZL Project No.: 22-219 Scale: 1" = 20' Sheet 1 of 1
 ZDRAVKO LUCIN - LS N.J. PROFESSIONAL LAND SURVEYOR LIC. No. 36260 DATE: 03/02/2023			



MUNICIPAL ENGINEERS STATEMENT
 I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW" RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

 MUNICIPAL ENGINEER DATE

MAP FILING LAW CERTIFICATE
 I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW". THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE "MUNICIPAL LAND USE LAW", P.L. 1975, c.291(c.40:550-1 et seq.) OR LOCAL ORDINANCE.

Zdravko Lucin 12/15/22
 LICENSED PROFESSIONAL LAND SURVEYOR LIC. No. 36260 DATE

APPROVALS
 TOWNSHIP OF MONTCLAIR

 PLANNING BOARD CHAIRPERSON

 PLANNING BOARD SECRETARY

 TOWNSHIP ENGINEER

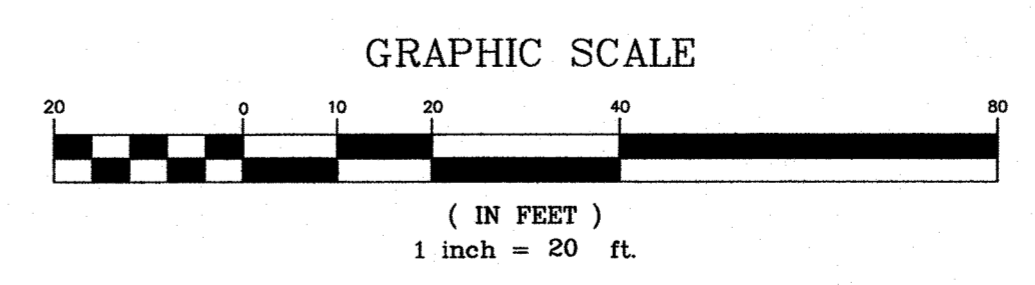
COUNTY OF ESSEX

 PLANNING BOARD CHAIRPERSON

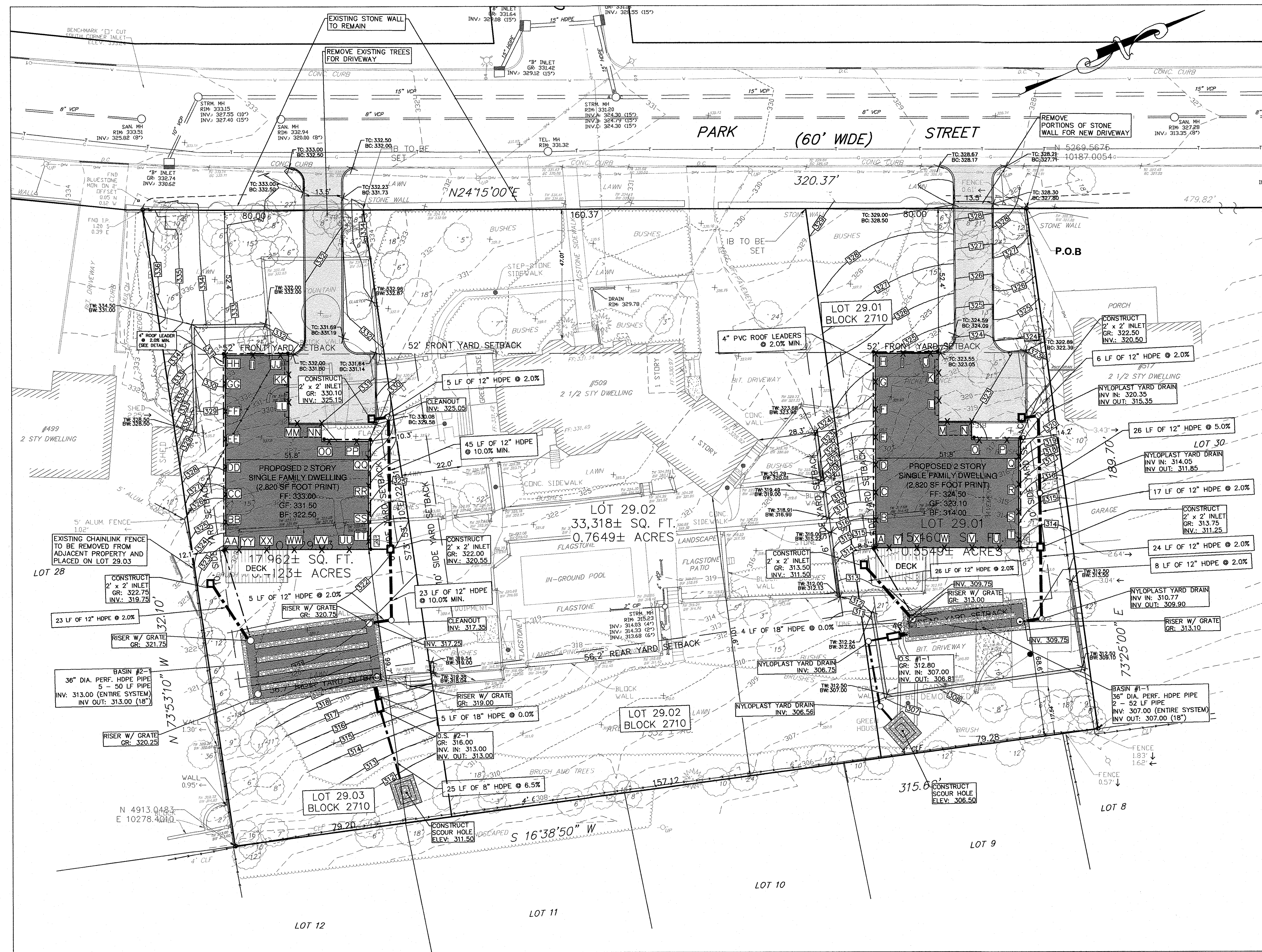
 PLANNING BOARD SECRETARY

NOTE:
 1. THIS MINOR SUBDIVISION IS BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY MAP PREPARED BY: ZL LAND SURVEYING, LLC DATED 10-26-2022
 2. HORIZONTAL DATUM IS ASSUMED

REV. NO.	DESCRIPTION	DATE	BY
MAP OF PROPERTY OF: 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY			
MINOR SUBDIVISION			
ZL LAND SURVEYING • LLC 20 LOMBARD DRIVE WEST CALDWELL, NEW JERSEY 07006 TEL: (973) 808-8488 (973) 244-5765 CERTIFICATE OF AUTHORIZATION No.246A2811800 ZAKLUCIN @ AOL.COM			Designer: ZL Draftsman: SPD Checked By: ZL Project No.: 22-219 Scale: 1"= 20' Sheet 1 of 1

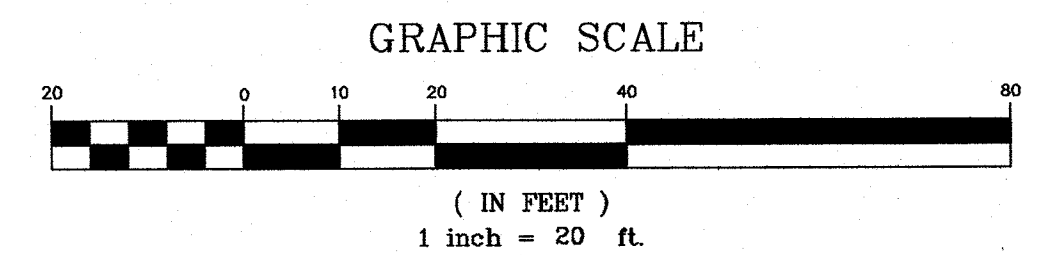


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Lot 29.01 Average Grade			
Point	Ex. Elevation	Pr. Elev	Lowest
A	314.3	314.0	314.0
B	314.6	316.0	314.6
C	318.0	317.9	317.9
D	319.6	319.9	319.6
E	321.5	321.9	321.5
F	322.5	323.5	322.5
G	323.1	324.5	323.1
H	324.9	325.5	324.9
I	323.9	324.5	323.9
J	323.1	323.5	323.1
K	321.3	323.1	321.3
L	319.8	323.1	319.8
M	318.7	323.1	318.7
N	318.3	323.0	318.3
O	317.5	323.3	317.5
P	316.8	322.4	316.8
Q	316.2	319.8	316.2
R	315.4	317.0	315.4
S	314.6	315.5	314.6
T	313.3	314.3	313.3
U	312.6	314.0	312.6
V	312.8	314.0	312.8
W	312.7	314.0	312.7
X	314.3	314.0	314.0
Y	314.2	314.0	314.0
Average	317.7	319.4	317.7

Lot 29.03 Average Grade			
Point	Ex. Elevation	Pr. Elev	Lowest
AA	322.9	322.6	322.6
BB	323.9	324.9	323.9
CC	325.3	326.3	325.3
DD	327.0	328.0	327.0
EE	328.8	328.4	328.4
FF	331.7	328.8	328.8
GG	332.8	330.2	330.2
HH	333.7	331.5	331.5
II	333.5	331.5	331.5
JJ	332.4	331.5	331.5
KK	332.4	331.5	331.5
LL	329.8	331.5	329.8
MM	328.7	331.4	328.7
NN	328.2	331.0	328.2
OO	327.3	331.2	327.3
PP	327.2	330.4	327.2
QQ	326.1	328.3	326.1
RR	324.7	326.0	324.7
SS	323.3	324.6	323.3
TT	321.4	322.8	321.4
UU	321.3	322.5	321.3
VV	321.3	322.5	321.3
WW	321.4	322.5	321.4
XX	321.6	322.5	321.6
YY	321.8	322.5	321.8
Average	326.7	327.4	326.2



LOT 29.01
DRAINAGE CALCULATIONS:

REQUIRED STORAGE:
NEW IMPERVIOUS AREA: 1,578 SF
@ 3 GALLONS PER SF (SOIL PERMEABILITY < 1.0 IN/HR)
1,578 SF X 3 GAL/SF X (1 CF / 7.481 GAL) = 633 CF

INFILTRATION BASIN VOLUME:
HDPE PIPE VOLUME:
 $V = A*L = \pi r^2 L = [\pi * (1.50')^2 * (90')] = 636 CF$

LOT 29.03
DRAINAGE CALCULATIONS:

REQUIRED STORAGE:
NEW IMPERVIOUS AREA: 4,337 SF
@ 3 GALLONS PER SF (SOIL PERMEABILITY < 1.0 IN/HR)
4,337 SF X 3 GAL/SF X (1 CF / 7.481 GAL) = 1,740 CF

INFILTRATION BASIN VOLUME:
HDPE PIPE VOLUME:
 $V = A*L = \pi r^2 L = [\pi * (1.50')^2 * (250')] = 1,767 CF$

BUILDING HEIGHT CALCULATION
LOT 29.01

FIRST FLOOR ELEVATION 324.5'
+ HEIGHT OF BUILDING ABOVE FIRST FLOOR 28.2'
- AVERAGE GRADE 317.7'
BUILDING HEIGHT 35.0'

LOT 29.03

FIRST FLOOR ELEVATION 333.0'
+ HEIGHT OF BUILDING ABOVE FIRST FLOOR 28.2'
- AVERAGE GRADE 326.2'
BUILDING HEIGHT 35.0'

Lot 29.01 Impervious Coverage			
Existing		Proposed	
Description	Area (SF)	Description	Area (SF)
Garage	213	House	2,820
Driveway	2,245	Driveway	1,710
Walls	629	Walls	135
Existing Impervious	3,087		
Proposed Impervious	4,665		
Total Impervious Increase	1,578		

Lot 29.03 Impervious Coverage			
Existing		Proposed	
Description	Area (SF)	Description	Area (SF)
Garage	0	House	2,820
Driveway	0	Driveway	1,710
Walls	258	Walls	65
Existing Impervious	258		
Proposed Impervious	4,595		
Total Impervious Increase	4,337		

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1	REVISED PER REVIEW ENGINEER COMMENTS	03/02/2023	JMP
REVISION	DESCRIPTION	DATE	BY

PREPARED FOR
509 PARK STREET LLC
509 PARK STREET
LOT 29 BLOCK 2710
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

CONCEPTUAL GRADING PLOT PLANS

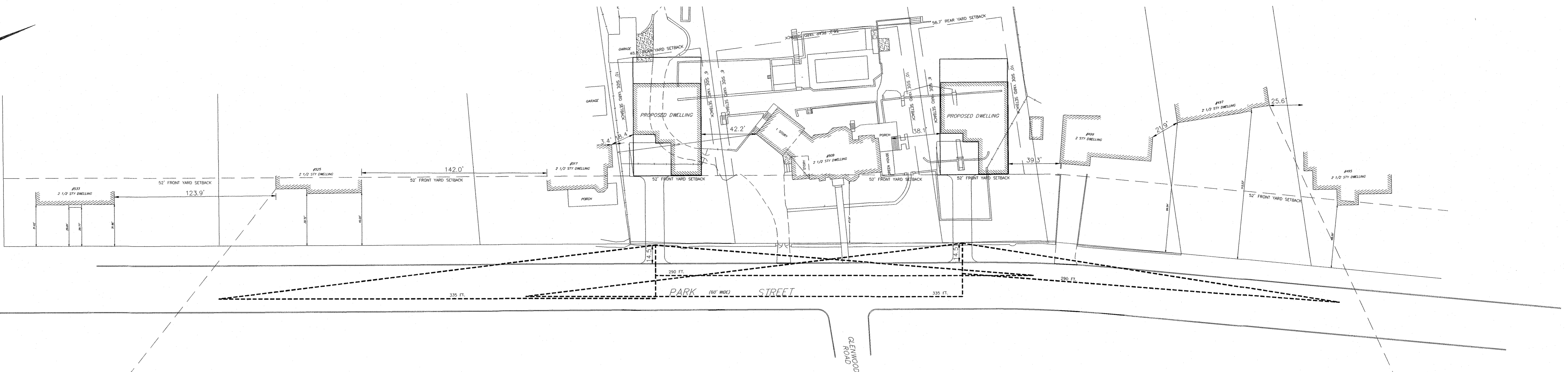
PETRY
ENGINEERING, LLC
DIVISION OF CONSTRUCTION SERVICES
100 PARKWAY AVENUE • PARLISSE • NEW JERSEY • 07054
TEL: 908.907.7600 FAX: 908.907.7601

Designer: JMP
Draftsman: SPO
Checked By: JMP
Project No: 22-219
Scale: 1" = 20'
Sheet: S-2

J. MICHAEL PETRY-PE, PP, RA
NJ PROFESSIONAL ENGINEER LIC. No. 36682 DATED: 12/14/2022

DEED NORTH
INSTR. NO. 2022056177

QUEENLOOK ROAD
(50' WIDE)



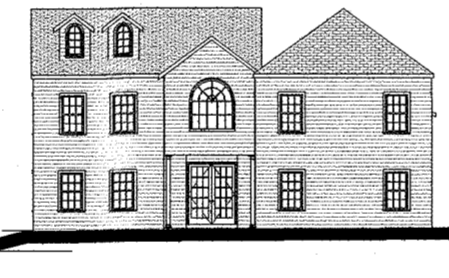
FRONT YARD ANALYSIS
SCALE: 1"=40'



#525 PARK STREET



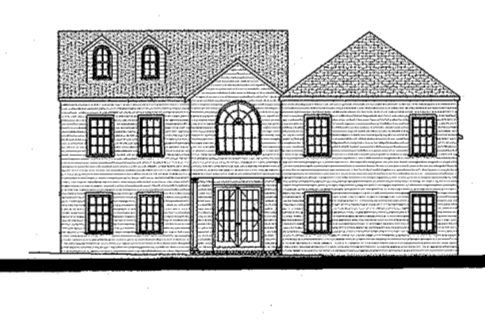
#518 PARK STREET



PROPOSED DWELLING



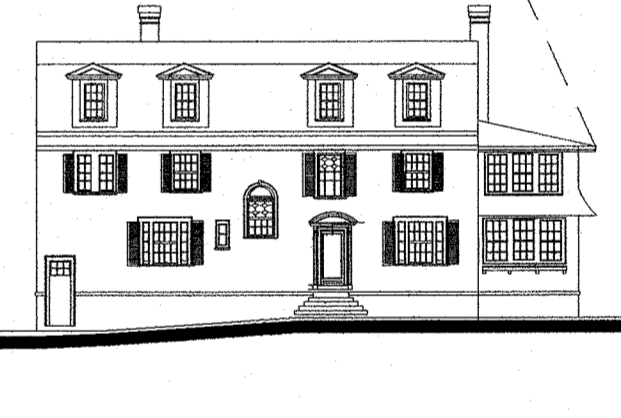
#509 PARK STREET



PROPOSED DWELLING



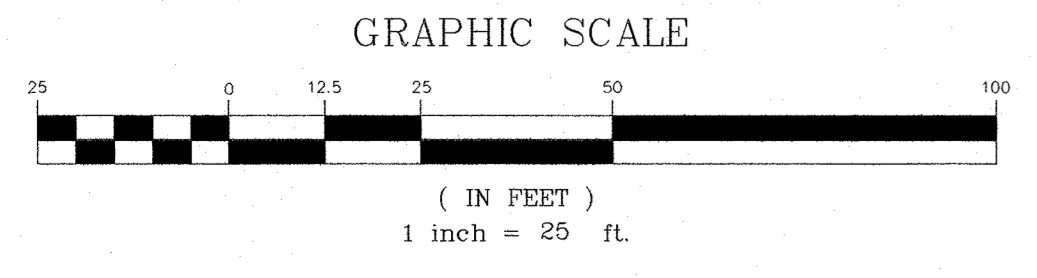
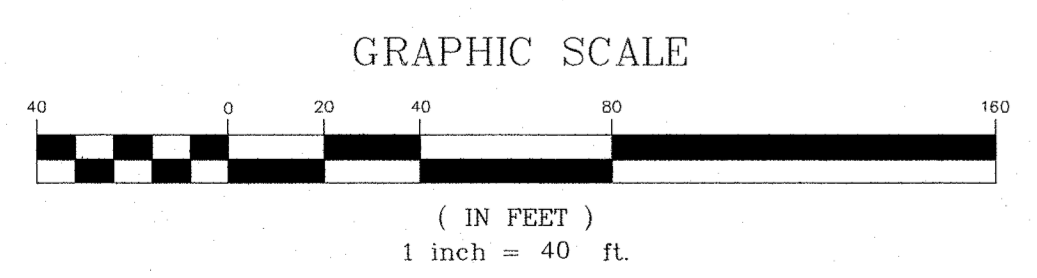
#499 PARK STREET



#497 PARK STREET

PARK STREET

STREETSCAPE
SCALE: 1"=25'

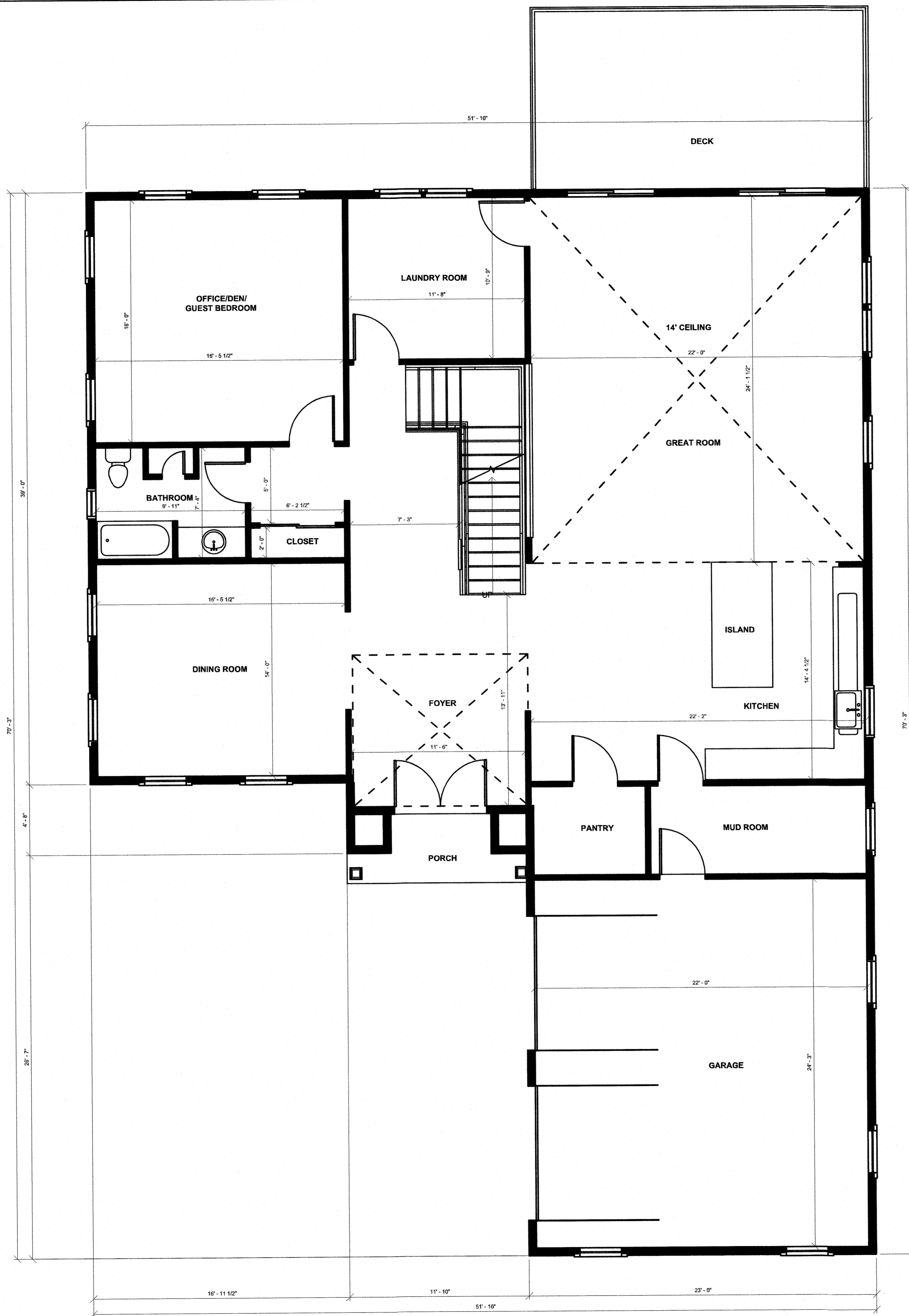


Front Yard Setback	
Lot	Existing Setback
1	29.8
31	39.7
30	39.6
29	47
28	60.5
27	99.5
26	48.09
Average Front Yard Setback	52.0

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY, MAP OF PROPERTY OF, 509 PARK STREET LLC, 509 PARK STREET, LOT 29 BLOCK 2710, TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY" PREPARED BY ZL LAND SURVEYING, LLC, DATED 10-26-2022 AND SIGNED BY ZDRAVKO LUCIN, LS

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1	REVISED PER REVIEW ENGINEER COMMENTS	03/02/2023	JMP
REVISION	DESCRIPTION	DATE	BY
PREPARED FOR 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY			
STREETSCAPE & FRONT YARD ANALYSIS			
 DIVISION OF CORPORATION OF PROFESSIONAL ENGINEERS REGISTERED IN NEW JERSEY 166 PASADENA AVENUE • FARGO, ND 58103 • NEW JERSEY • 07034 TEL: (701) 281-1004 FAX: (701) 281-1004			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 22-219 Scale: AS SHOWN Sheet:
 J. MICHAEL PETRY-PE, PP, RA NJ PROFESSIONAL ENGINEER LIC. No. 36662			DATED: 11/16/2022 S-3

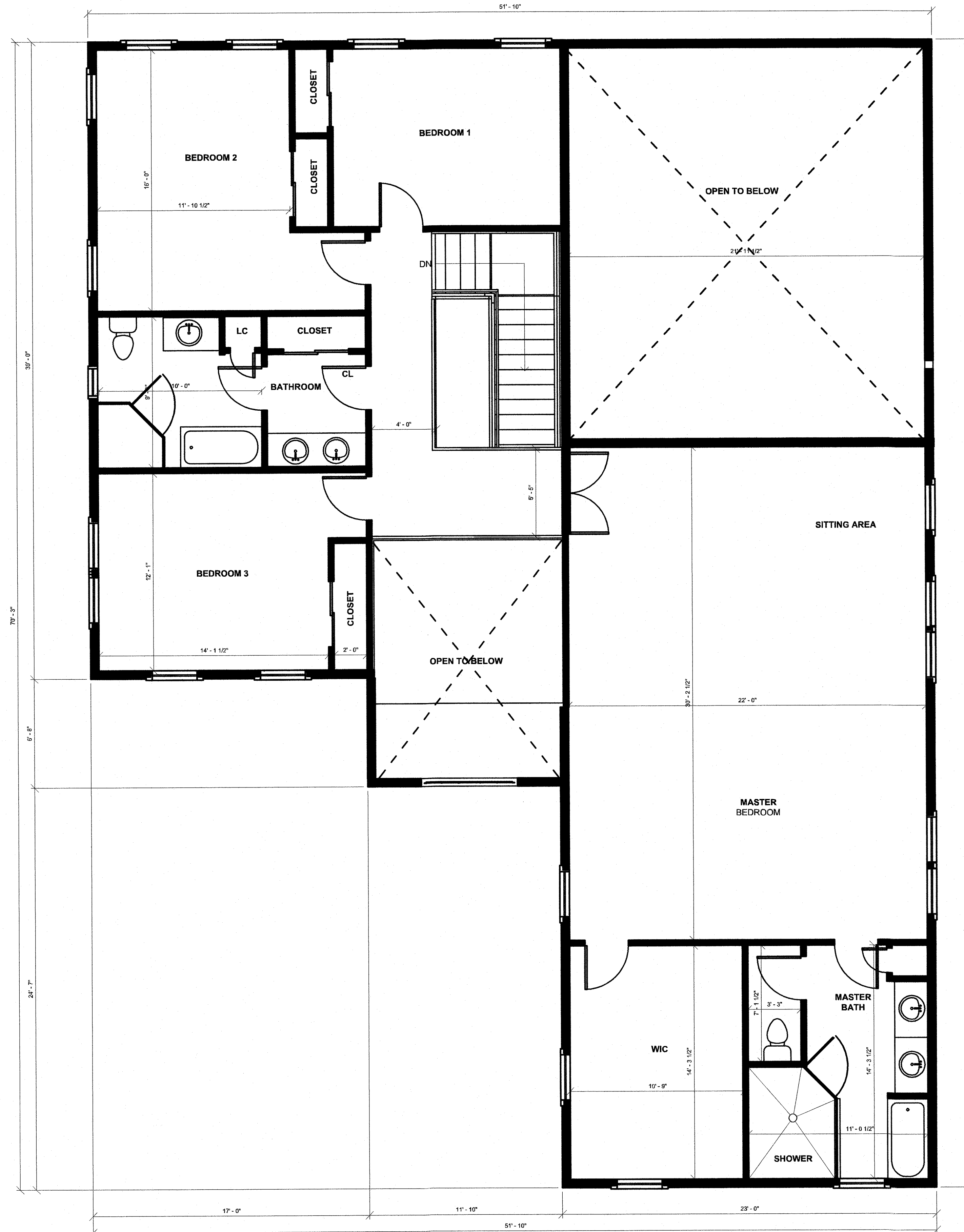


A-201 1

1 FIRST FLOOR PLAN
1/4" = 1'-0"

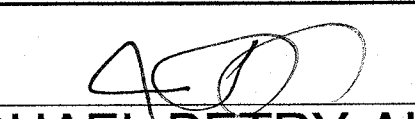
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REVISION	DESCRIPTION	DATE	BY
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP
PROPOSED NEW 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY FIRST FLOOR PLAN			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet: A-101
J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			DATED: 06-06-2022



① SECOND FLOOR PLAN
1/4" = 1'-0"

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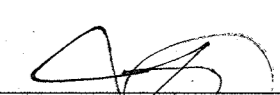
REVISION	DESCRIPTION	DATE	BY
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP
PROPOSED NEW 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY SECOND FLOOR PLAN			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE - FAIRFIELD - NEW JERSEY - 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet: A-102
 J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			DATED: 06-06-2022



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

REVISION	DESCRIPTION	DATE	BY
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP
PROPOSED NEW 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY PROPOSED ELEVATIONS			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet: A-201
 J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			<small>DATED: 06-06-2022</small>

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ROOF PEAK
28'-3"

2ND FLOOR CEILING
19'-0"

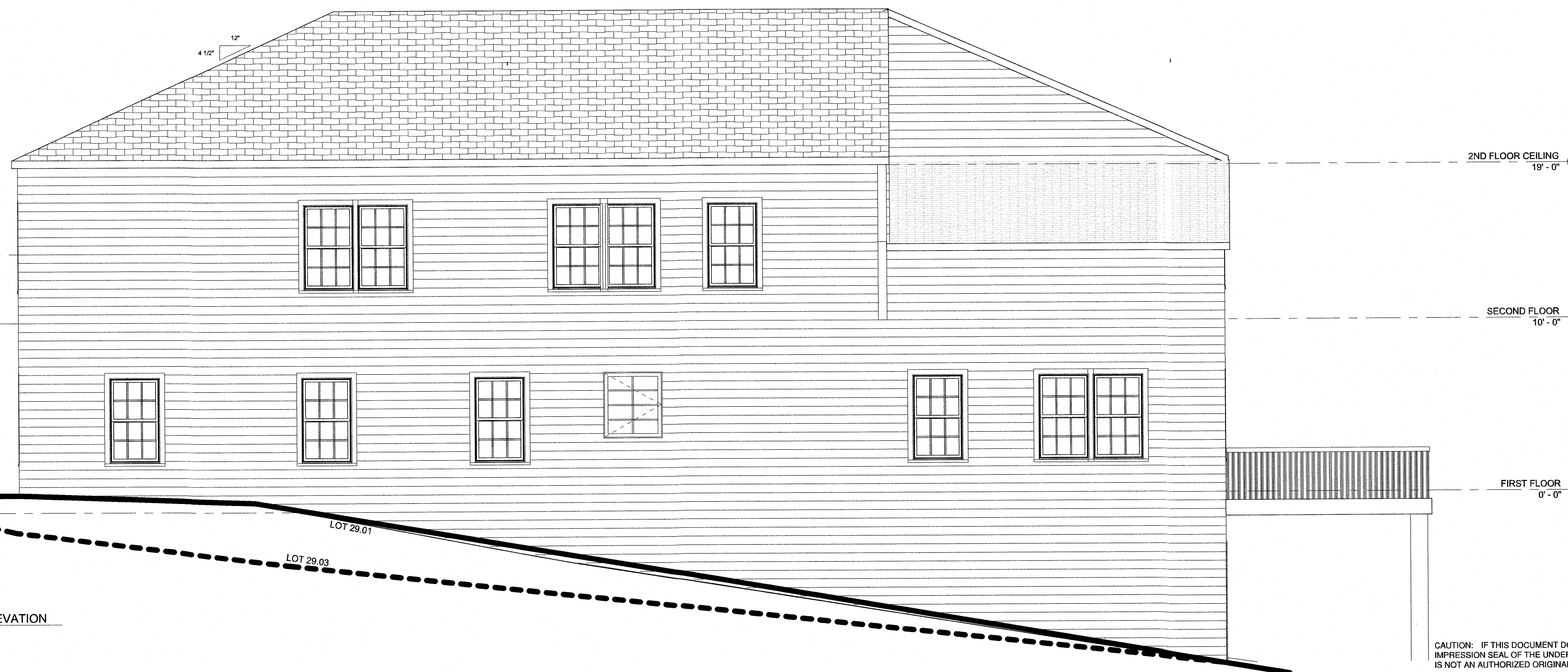
FAMILY ROOM CEILING
14'-0"

SECOND FLOOR
10'-0"

FIRST FLOOR
0'-0"
GARAGE
-1'-0"



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



FAMILY ROOM CEILING
14'-0"

2ND FLOOR CEILING
19'-0"

SECOND FLOOR
10'-0"

FIRST FLOOR
0'-0"

GARAGE
-1'-0"

2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP

PROPOSED NEW
509 PARK STREET
LOT 29 - BLOCK 2710
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY NEW JERSEY

PROPOSED ELEVATIONS

J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL. (973) 227-8700 FAX (973) 227-7074	Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet: A-202
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J. MICHAEL PETRY-AIA
NJ REGISTERED ARCHITECT LIC. No. 13144 DATED: 06-06-2022