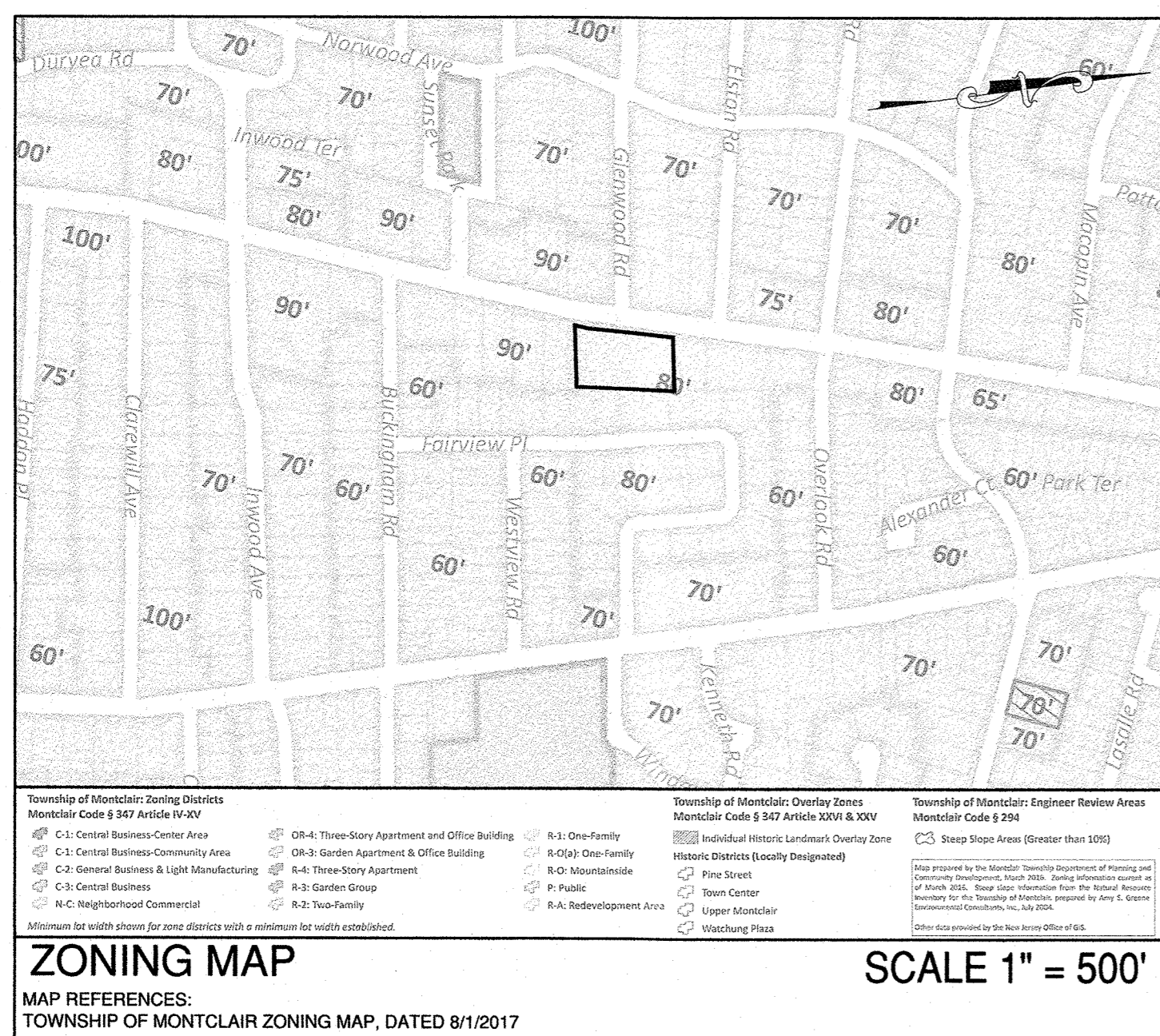
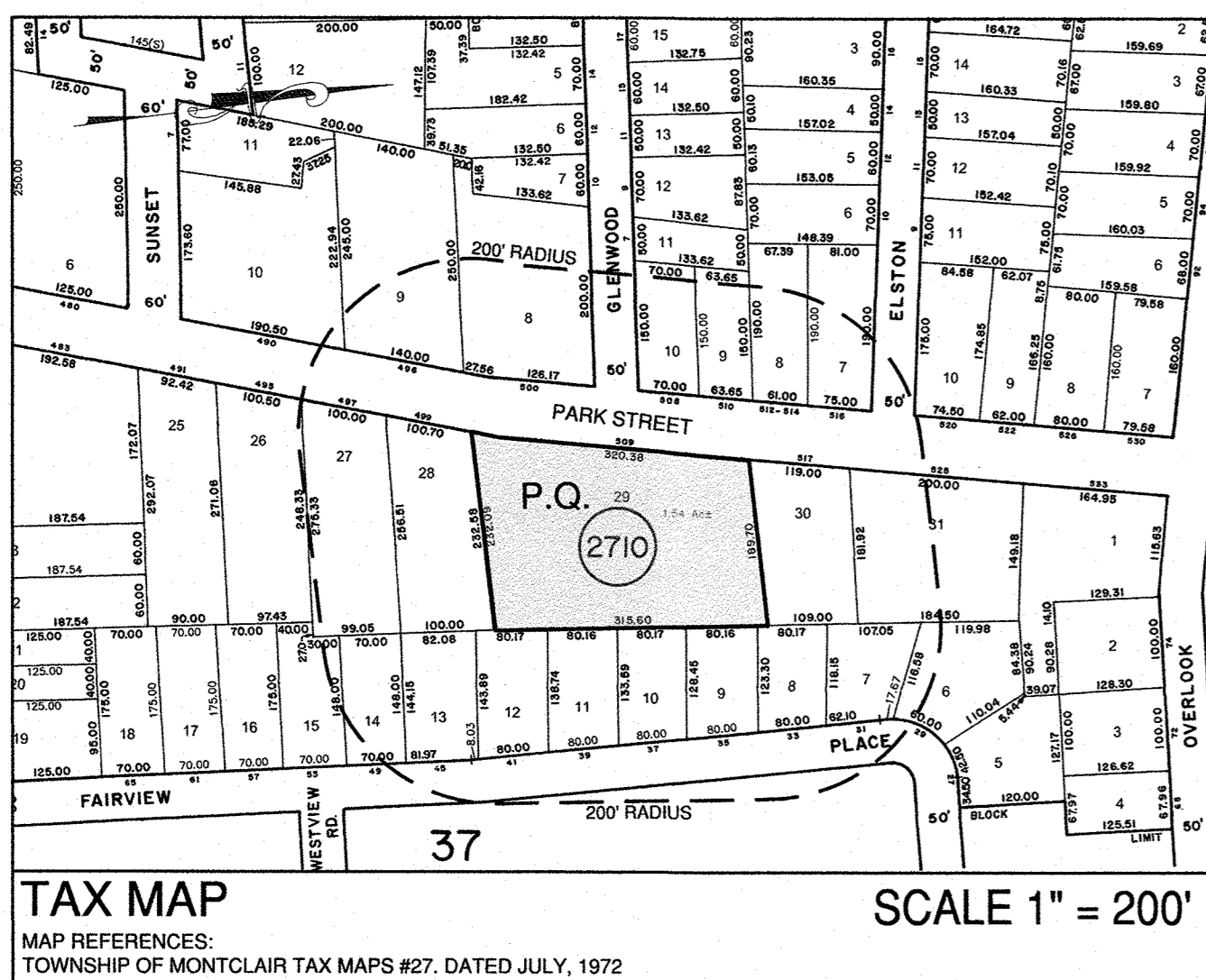


PRELIMINARY AND FINAL MINOR SUBDIVISION

PREPARED FOR 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY



SITE DATA CHART					
OWNER: 509 PARK STREET, LLC 509 PARK STREET & APPLICANT: TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY					
PROPERTY: LOT 29 BLOCK 2710 AREA = 66,740 SF (1.532 ACRES)					
ZONE: R-1					
EXISTING USE: SINGLE FAMILY RESIDENTIAL (1 LOT) PROPOSED USE: SINGLE FAMILY RESIDENTIAL (3 LOTS)					
DESCRIPTION	CODE (R-1)	EXISTING LOT 29	PROPOSED LOT 29.01	PROPOSED LOT 29.02	PROPOSED LOT 29.03
AREA YARD AND BULK REGULATIONS					
MIN. LOT AREA	N/A	66,740 SF	15,460 SF	33,320 SF	17,960 SF
MIN. LOT WIDTH	80.0 FT	319.9 FT	80.0 FT	159.9 FT	80.0 FT
MIN. LOT DEPTH	215.46 FT	210.9 FT ²	195.1 FT ¹	210.9 FT ¹	226.8 FT
MIN. FRONT YARD SETBACK	52.0 FT	47.0 FT ²	52.4 FT ³	47.0 FT ²	52.4 FT ³
MIN. SIDE YARD SETBACK	6 FT / 10 FT	107.6 FT / 101.2 FT	8.5 FT / 14.2 FT ³	27.6 FT / 21.2 FT	10.3 FT / 12.1 FT ³
MAX. BUILDING WIDTH	85% OF LOT WIDTH	33.8%	64.8% ³	67.9% ¹	64.8% ³
MIN. REAR YARD SETBACK	LOT 29: 52.7 FT LOT 29.01: 48.8 FT LOT 29.02: 52.7 FT LOT 29.03: 56.7 FT	101.6 FT	68.8 FT ³	101.6 FT	99.7 FT ³
MAX. BUILDING HEIGHT	35 FT / 2.5 ST.	<35 FT / 2.5 ST.	34.98 FT / 2.5 ST. ²	<35 FT / 2.5 ST.	35.0 FT / 2.5 ST. ³
MAX. BUILDING COVERAGE	25%	5.4%	18.1% ³	10.9%	15.5% ³
MAX. IMPERVIOUS COVERAGE ⁴	LOT 29.01: 44.2% LOT 29.02: 35% LOT 29.03: 41%	18%	30%	26%	31%
RETAINING WALL REQUIREMENTS					
MAX. HEIGHT IN FRONT/SIDE YARDS	4.5 FT	4.7 FT	N/A ³	2.4 FT	4.5 FT ³
MAX. HEIGHT IN REAR YARD	7 FT	7.5 FT ²	2.6 FT ³	7.5 FT ²	N/A ³
DRIVEWAY REQUIREMENTS					
MAX. GRADE WITHIN 20 FT OF PL	10%	-10%	10% ³	-10%	10% ³

¹ VARIANCE REQUIRED
² EXISTING NON-CONFORMING CONDITION
³ BASED ON CONCEPTUAL GRADING PLOT PLAN
⁴ BASED ON §347-20B (SEE MAXIMUM IMPERVIOUS COVERAGE CALCULATIONS BELOW)

MAXIMUM IMPERVIOUS COVERAGE CALCULATIONS:

LOT 29.01
MAX. IMPERVIOUS COVERAGE = (55% LOT AREA) x 100
MAX. IMPERVIOUS COVERAGE = (55%/15,460) x 100 = 44.2%

LOT 29.01
MAX. IMPERVIOUS COVERAGE = 35%

LOT 29.01
IMPERVIOUS COVERAGE = (55% LOT AREA) x 100
MAX. IMPERVIOUS COVERAGE = (55%/17,960) x 100 = 41%

Existing Lot 29 Impervious Coverage	
Description	Area (SF)
House	3,610
Garage	213
Driveway	3,905
Walkways	2,103
Pool	705
Walls	1,577
Total Impervious (SF)	12,113
Total Lot Area (SF)	66,740
Impervious Coverage (%)	18

Proposed Lot 29.01 Impervious Coverage	
Description	Area (SF)
House	2,280
Garage	629
Driveway	1,710
Walls	84
Total Impervious (SF)	4,703
Total Lot Area (SF)	15,460
Impervious Coverage (%)	30

Proposed Lot 29.02 Impervious Coverage	
Description	Area (SF)
House	3,610
Driveway	1,660
Walkways	2,103
Pool	705
Walls	690
Total Impervious (SF)	8,768
Total Lot Area (SF)	33,320
Impervious Coverage (%)	26

Proposed Lot 29.03 Impervious Coverage	
Description	Area (SF)
House	2,820
Driveway	2,333
Walls	345
Total Impervious (SF)	5,498
Total Lot Area (SF)	17,960
Impervious Coverage (%)	31

GENERAL NOTES:

- THE EXISTING GARAGE IS PROPOSED TO BE DEMOLISHED.
- NO TREES ARE PROPOSED TO BE REMOVED AS PART OF THIS MINOR SUBDIVISION.
- THE FINAL LOT NUMBERS SHALL BE APPROVED BY THE TOWNSHIP TAX ASSESSOR.
- LANDSCAPING AND TREE REMOVAL PLANS SHALL BE PROVIDED WHEN EACH OF THE PROPOSED LOTS ARE DEVELOPED.
- THE PROPOSED SUBDIVISION MEETS THE CRITERIA FOR A MAJOR DEVELOPMENT IN THE TOWNSHIP OF MONTCLAIR. THE DRAINAGE FOR EACH LOT SHALL BE DESIGNED ACCORDINGLY WHEN THE INDIVIDUAL LOTS ARE DESIGNED.
- A STORMWATER MANAGEMENT REPORT AND MAINTENANCE MANUAL SHALL BE SUBMITTED FOR EACH OF THE PROPOSED LOTS.
- PROPOSED UTILITY SERVICES SHALL BE SHOWN ON THE FINAL ENGINEERED DRAWINGS FOR EACH OF THE INDIVIDUAL LOTS.
- NO RUNOFF FROM THESE PROPERTIES SHALL ADVERSELY AFFECT ANY ADJACENT PROPERTY BOTH DURING AND SUBSEQUENT TO CONSTRUCTION. IN THE EVENT A DRAINAGE PROBLEM PERSISTS, THE APPLICANT WILL BE RESPONSIBLE TO REMEDY THE MATTER AT HIS/HER OWN COST.
- THE FUTURE PROPERTY OWNERS FOR EACH LOT WILL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES. THE STORMWATER SYSTEMS ARE RECOMMENDED TO BE INSPECTED AT LEAST TWICE ANNUALLY, AS WELL AS, AFTER EVERY RAINFALL EVENT GREATER THAN TWO (2) INCHES.
- ALL PROPOSED RETAINING WALLS OVER FOUR (4) FEET SHALL BE DESIGNED BY A STRUCTURAL ENGINEER. ACCOMPANYING DESIGN CALCULATIONS SHALL BE SUBMITTED AS WELL.
- RETAINING WALLS SHALL HAVE APPROPRIATE FALL PROTECTION WHERE REQUIRED BY CODE.
- ANY ROADWAY, CURBING, OR STORM INLETS ALONG THE PROPERTY FRONTAGE DAMAGED DUE TO CONSTRUCTION ACTIVITIES WILL BE REPAIRED BY THE APPLICANT TO THE SATISFACTION OF THE TOWNSHIP'S CONSTRUCTION AND ENGINEERING DEPARTMENTS.
- ANY SOIL TRACKED ONTO THE STREET WILL BE REQUIRED TO BE IMMEDIATELY REMOVED. ANY BREACH OF SILT CONTROLS WOULD RESULT IN AN IMMEDIATE STOP WORK ORDER BEING ISSUED UNTIL ALL SOIL EROSION CONTROLS ARE REPAIRED AND REPLACED.
- FULLY DEVELOPED GRADING PLOT PLANS SHALL INCLUDE THE AMOUNT OF SOIL MOVEMENTS. ANY FILL BROUGHT TO THE SITE SHALL BE CERTIFIED AS CLEAN IN COMPLIANCE WITH NUDEP REGULATIONS. ADDITIONALLY, THE CONTRACTOR SHALL COORDINATE THE TRUCK ROUTES WITH THE TOWNSHIP.

LIST OF DRAWINGS		
SHEET NO.	NAME	PREPARED BY
S-1	TITLE SHEET	PETRY ENGINEERING
1 OF 1	ALTANSPS LAND TITLE SURVEY	ZL SURVEYING
1 OF 1	MINOR SUBDIVISION	ZL SURVEYING
S-2	CONCEPTUAL GRADING PLOT PLAN	PETRY ENGINEERING
S-3	STREETScape / FRONT YARD ANALYSIS	PETRY ENGINEERING
A-101	FIRST FLOOR PLAN - LOT 29.01	J. MICHAEL PETRY, AIA
A-102	SECOND FLOOR PLAN - LOT 29.01	J. MICHAEL PETRY, AIA
A-201	PROPOSED ELEVATIONS - LOT 29.01	J. MICHAEL PETRY, AIA
A-202	PROPOSED ELEVATIONS - LOT 29.01	J. MICHAEL PETRY, AIA
A1-101	FIRST FLOOR PLAN - LOT 29.03	J. MICHAEL PETRY, AIA
A1-102	SECOND FLOOR PLAN - LOT 29.03	J. MICHAEL PETRY, AIA
A1-201	PROPOSED ELEVATIONS - LOT 29.03	J. MICHAEL PETRY, AIA
A1-202	PROPOSED ELEVATIONS - LOT 29.03	J. MICHAEL PETRY, AIA
FIG 1	HPC FIGURE	PETRY ENGINEERING

Lot Depth Calculation				
Lot	Left Pt.	Right Pt.	Lot Depth	
31	149.18	181.92	165.55	
30	181.92	189.7	185.81	
28	232.58	256.51	244.55	
27	256.51	275.33	265.92	
			Average Lot Depth	215.46

REQUIRED APPROVALS:

- MONTCLAIR PLANNING BOARD
- ESSEX COUNTY PLANNING BOARD
- HUDSON-ESSEX-PASSAIC SCD

APPROVALS TOWNSHIP OF MONTCLAIR PLANNING BOARD

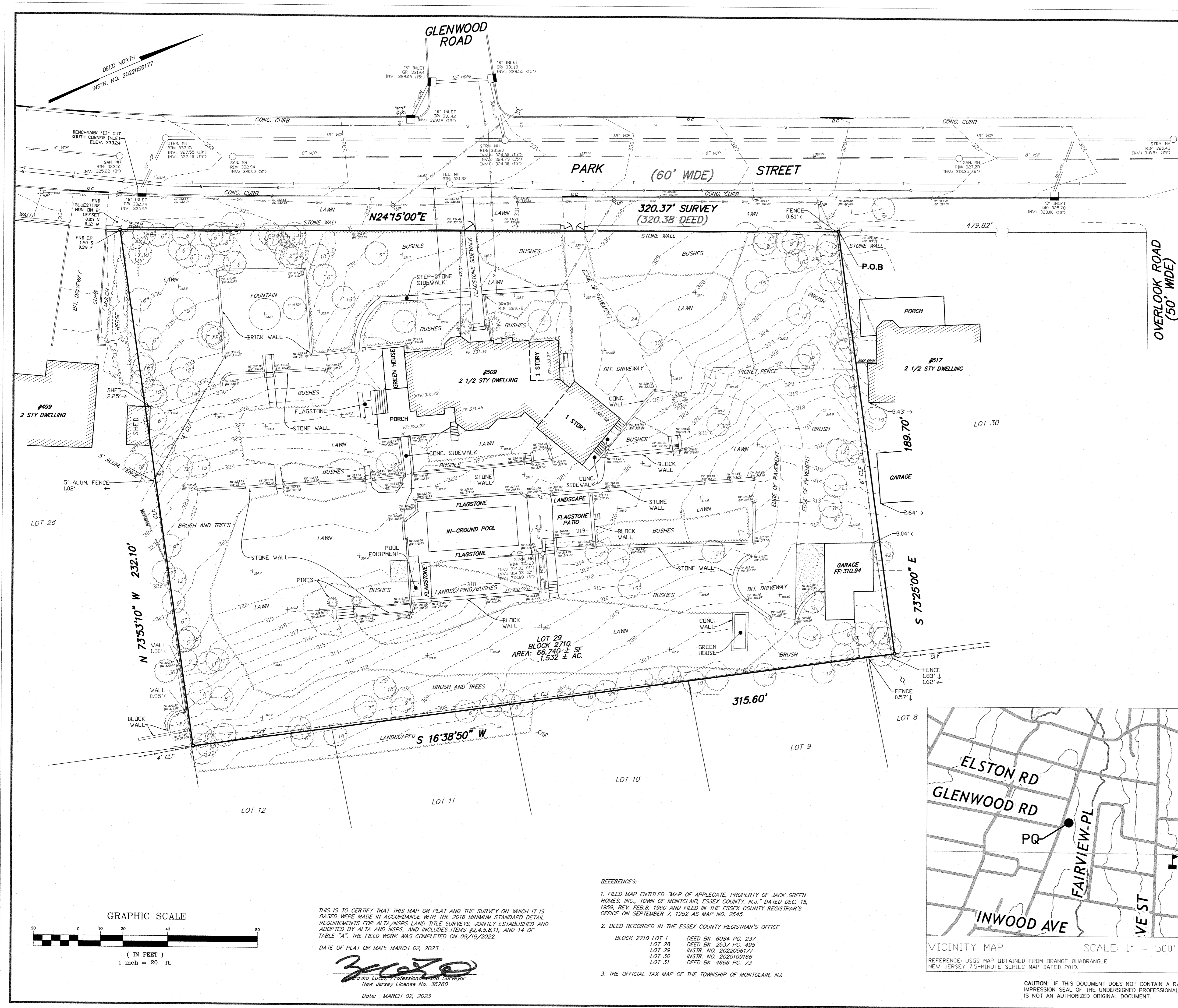
PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

TOWNSHIP ENGINEER _____ DATE _____

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

2	REVISED PER MODIFICATIONS TO CONCEPTUAL GRADING PLOT PLAN	07/07/2023	JMP
1	REVISED PER REVIEW ENGINEER COMMENTS	03/02/2023	JMP
REVISION	DESCRIPTION	DATE	BY
PREPARED FOR 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY			
TITLE SHEET			
			Designer: JMP Draftsman: DJK Checked By: JMP Project No.: 22-219 Scale: AS SHOWN Sheet:
			S-1
J. MICHAEL PETRY-PE, PP, RA NJ PROFESSIONAL ENGINEER LIC. No. 36662 DATED: 12/14/2022			



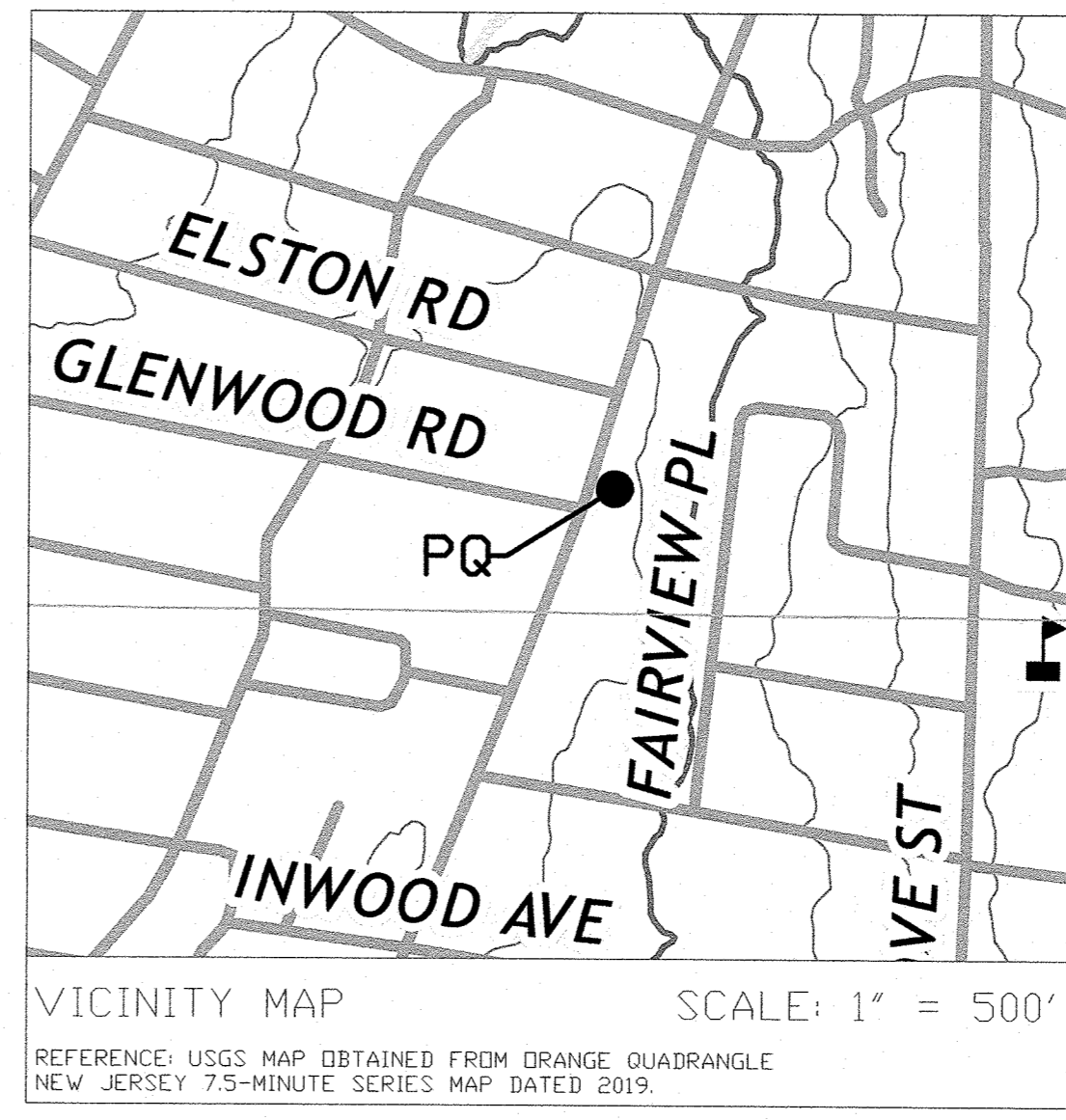
EXISTING TOPOGRAPHY LEGEND

	TYPE "B" INLET		UTILITY POLE w/ LIGHT
	TYPE "C" INLET		LIGHT POLE
	TYPE "A" INLET		WALL MOUNTED LIGHT
	MANHOLE (LABELLED)		CLEAN OUT
	HYDRANT		OVERHEAD WIRES
	WATER VALVE AN BOX OR SERVICE		JUNCTION BOX
	GAS VALVE AND BOX OR SERVICE		TRANSFORMER
	CURB (TYPE & SIZE LABELLED)		UTILITY POLE WITH GUY WIRE
	SIGN		TREE (DECIDUOUS) WITH CALIPER
	SANITARY SEWER PIPES (TYPE AND SIZE LABELLED)		TREE (CONIFEROUS) WITH CALIPER
	STORM SEWER PIPES (TYPE AND SIZE LABELLED)		INDIVIDUAL SHRUBS & BUSHES
	UNDERGROUND CONDUIT (LABELLED)		HEDGES OR BUSHES
	WATER LINE		EDGE OF WOODS
	GAS LINE MARKOUT		EXISTING CONTOUR LINE
	TELEPHONE LINE		EXISTING SPOT ELEVATION
	ELECTRIC LINE		RAIL ROAD TRACKS
	CHAIN LINK FENCE		GUIDE RAIL (LABELLED)
	POST & RAIL FENCE		HEADWALL
	RAILING (LABELLED)		FLARED END SECTION
	GATE (SINGLE)		CONC. SIDEWALK
	GATE (DOUBLE)		BRICK SIDEWALK
	WELL (LABELLED)		
	SPIGOT		
	SPRINKLER CONTROL BOX		

LIST OF ABBREVIATIONS

ACP	ASBESTOS CEMENT PIPE	DC	DN CENTER
BC	BOTTOM OF CURB	P.C.	POINT OF BEGINNING
BW	BOTTOM OF WALL	PDB	POINT OF DEVIATION
BLDG	BUILDING	PI	POINT OF INTERSECT
BLK	BLOCK	PVI	POINT OF VERTICAL INTERSECT
BIT	BITUMINOUS	PT	POINT OF TANGENCY
BM	BENCHMARK	PC	POINT OF CURVATURE
BLL	BILLIARD	PR	POINT OF REVERSE
BL	BLOCK	PS	POINT OF SWITCH
CP	CENTRELINE	PT	POINT OF TANGENCY
C	CHAIN LINK FENCE	PVC	POLYVINYL CHLORIDE
CLF	CONCRETE	RC	REINFORCED CONCRETE
CLF DRIMP	CONDORATED METAL PIPE	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	SAN	SANITARY
D1	DUCTILE IRON	SCB	SPRINKLER CONTROL BOX
EL	ELECTRIC	SRF	SPLIT RAIL FENCE
ELEV	ELEVATION	ST	STORM
EP	EDGE OF PAVEMENT	STK	STOCKADE FENCE
FEN	FENCE	STR	STORY
FF	FINISHED FLOOR	STW	STONEWALK
FND	FOUND	TELE	TELEPHONE
FR	FRAME	TC	TOP OF CURB
GR	GRATE	TR. LT.	TRAFFIC LIGHT
GR	GRATE	TW	TOP OF WALL
INV	INVERT	TG	TOP OF GRATE
IP	IRON PIPE	TYP	TYPICAL
LA	LANDSCAPED	UC	UNDERGROUND CONDUIT
MAN	MANHOLE	UP	UTILITY POLE
MON	MONUMENT	VCP	VITRIFIED CLAY PIPE
MW	MONITORING WELL	W	WITH
		WIF	WROUGHT IRON FENCE

- NOTES**
1. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH N.J.A.C. 13:40-5
 2. FLOOD ZONES, SUBSURFACE AND ENVIRONMENTAL AND OR HAZARDOUS MATERIALS LOCATION, IF ANY, WERE NOT EXAMINED OR CONSIDERED AS A PART OF CONTRACT.
 3. VERTICAL DATUM IS NGVD 1929, MK. NO. 16.36.30.
 4. UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON VISIBLE ABOVE GROUND STRUCTURES, FIELD DATA, UTILITY MARKINGS AND/OR RECORDS FURNISHED BY VARIOUS AGENCIES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UNDERGROUND UTILITIES AND OR STRUCTURES. ZL LAND SURVEYING MAKES NO GUARANTEES EXPRESS OR IMPLIED, REGARDING THE UTILITY LOCATION AS PLOTTED ON THIS PLAN. THIS PLAN DOES NOT IMPLY THAT NO OTHER UTILITIES MAY BE PRESENT ON THE SITE. IT IS THE RESPONSIBILITY OF THE USER OF THIS SURVEY TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES BY CONTACTING THE PROPER UTILITY AGENCIES, PRIOR TO ANY GROUND DISTURBANCE.
 5. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1 (d).
 6. FIELD SURVEY COMPLETED ON 09/19/2022.

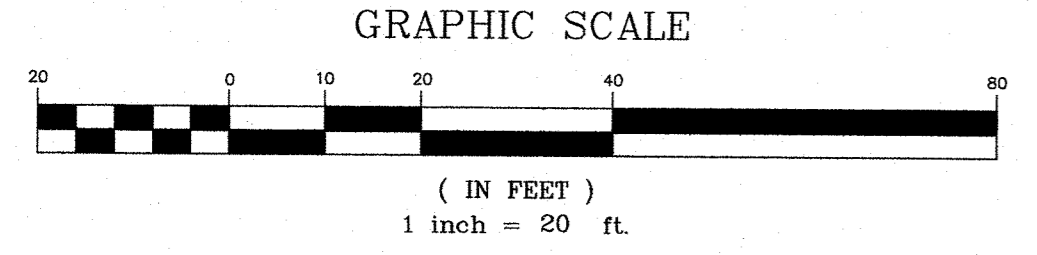


- REFERENCES:**
1. FILED MAP ENTITLED "MAP OF APPLICABLE PROPERTY OF JACK GREEN HOMES, INC., TOWN OF MONTCLAIR, ESSEX COUNTY, N.J." DATED DEC. 15, 1959, REV. FEB. 8, 1960 AND FILED IN THE ESSEX COUNTY REGISTRAR'S OFFICE ON SEPTEMBER 7, 1952 AS MAP NO. 2645.
 2. DEED RECORDED IN THE ESSEX COUNTY REGISTRAR'S OFFICE
 BLOCK 2710 LOT 1 DEED BK. 6084 PG. 237
 LOT 28 DEED BK. 2537 PG. 495
 LOT 29 INSTR. NO. 2022056177
 LOT 30 INSTR. NO. 202109166
 LOT 31 DEED BK. 4666 PG. 73
 3. THE OFFICIAL TAX MAP OF THE TOWNSHIP OF MONTCLAIR, N.J.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS #2, 4, 5, 8, 11, AND 14 OF TABLE "A". THE FIELD WORK WAS COMPLETED ON 09/19/2022.

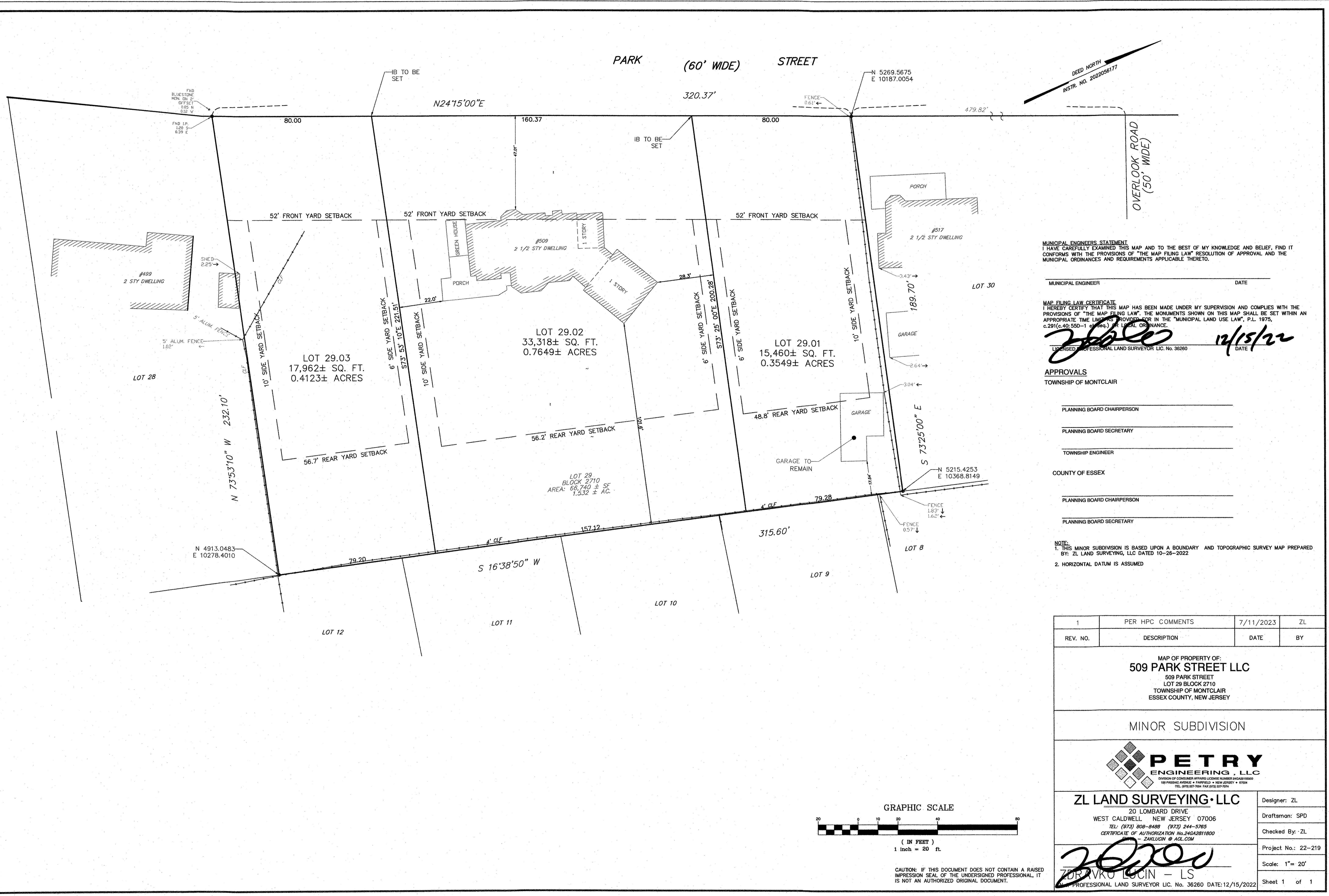
DATE OF PLAT OR MAP: MARCH 02, 2023

Zdravko Lucin
 Zdravko Lucin, Professional Land Surveyor
 New Jersey License No. 36260
 Date: MARCH 02, 2023



REV. NO.	DESCRIPTION	DATE	BY
	MAP OF PROPERTY OF 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY		
ALTA/NSPS LAND TITLE SURVEY			
 PETRY ENGINEERING, LLC <small>DIVISION OF CONSULTANTS & ENGINEERS MEMBER SOCIETY OF PROFESSIONAL ENGINEERS</small> 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL: (973) 327-7000 FAX: (973) 327-7014			
ZL LAND SURVEYING • LLC			
20 LOMBARD DRIVE WEST CALDWELL NEW JERSEY 07006 TEL: (973) 808-8488 CERTIFICATE OF AUTHORIZATION No. 24GA2811800 EMAIL: - ZLKUCIN@AZL.COM			
	Designer: ZL		
	Draftsman: DJK		
	Checked By: ZL		
	Project No.: 22-219		
	Scale: 1" = 20'		
 ZDRAVKO LUCIN - LS N.J. PROFESSIONAL LAND SURVEYOR LIC. No. 36260 DATE: 03/02/2023			
			Sheet 1 of 1

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MUNICIPAL ENGINEER'S STATEMENT
 I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW" RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MUNICIPAL ENGINEER _____ DATE _____
 MAP FILING LAW CERTIFICATE
 I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW". THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE "MUNICIPAL LAND USE LAW", P.L. 1975, c.291(c.40:55D-1 to 1984.) LOCAL ORDINANCE.
 [Signature] 12/15/22
 LICENSED PROFESSIONAL LAND SURVEYOR LIC. No. 36260 DATE

APPROVALS
 TOWNSHIP OF MONTCLAIR
 PLANNING BOARD CHAIRPERSON _____
 PLANNING BOARD SECRETARY _____
 TOWNSHIP ENGINEER _____
 COUNTY OF ESSEX
 PLANNING BOARD CHAIRPERSON _____
 PLANNING BOARD SECRETARY _____

NOTE:
 1. THIS MINOR SUBDIVISION IS BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY MAP PREPARED BY: ZL LAND SURVEYING, LLC DATED 10-26-2022
 2. HORIZONTAL DATUM IS ASSUMED

REV. NO.	DESCRIPTION	DATE	BY
1	PER HPC COMMENTS	7/11/2023	ZL

MAP OF PROPERTY OF:
509 PARK STREET LLC
 509 PARK STREET
 LOT 29 BLOCK 2710
 TOWNSHIP OF MONTCLAIR
 ESSEX COUNTY, NEW JERSEY

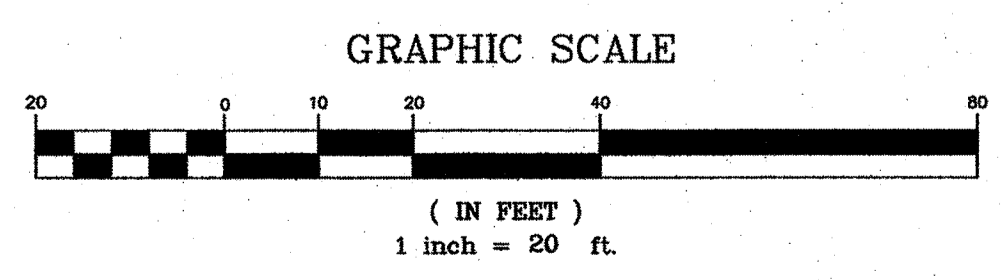
MINOR SUBDIVISION



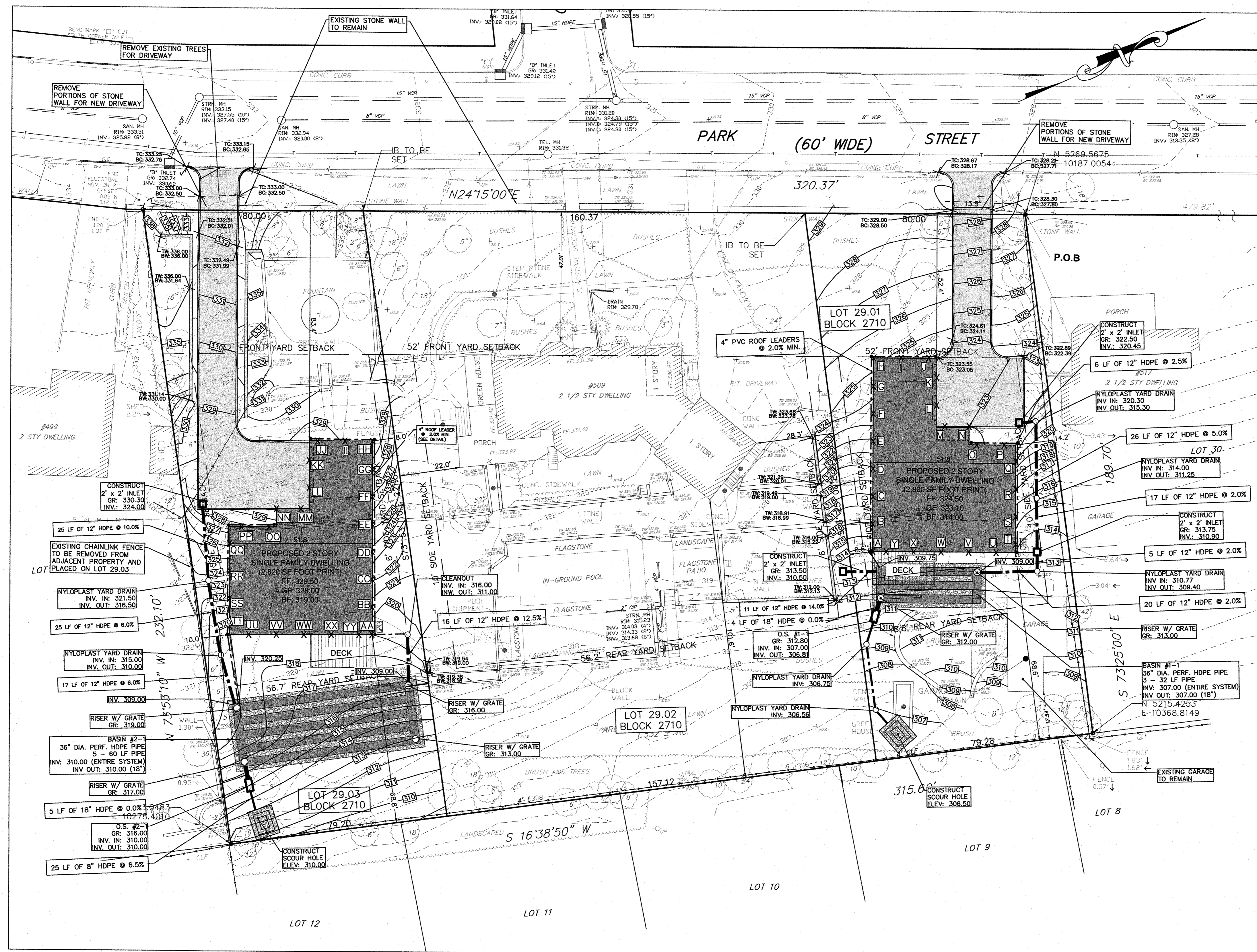
ZL LAND SURVEYING • LLC
 20 LOMBARD DRIVE
 WEST CALDWELL NEW JERSEY 07006
 TEL: (973) 808-8488 (973) 244-5785
 CERTIFICATE OF AUTHORIZATION No. 2404-2811800
 PINNAC - ZAKLUCIN @ AOL.COM

[Signature]
ZAKLUCIN - LS
 PROFESSIONAL LAND SURVEYOR LIC. No. 36260 DATE: 12/15/2022

Designer: ZL
 Draftsman: SPD
 Checked By: ZL
 Project No.: 22-219
 Scale: 1" = 20'
 Sheet 1 of 1

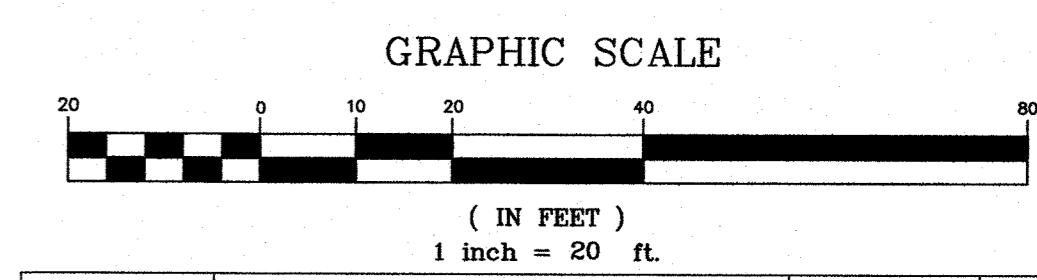


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Point	Ex. Elevation	Pr. Elev	Lowest
A	314.30	313.94	313.94
B	314.58	315.95	314.58
C	318.04	317.91	317.91
D	319.71	319.87	319.71
E	321.46	321.85	321.46
F	322.50	323.44	322.50
G	323.12	324.48	323.12
H	324.89	325.50	324.89
I	323.93	324.43	323.93
J	323.10	323.39	323.10
K	321.27	323.10	321.27
L	319.78	323.10	319.78
M	318.67	323.10	318.67
N	318.32	323.00	318.32
O	317.45	323.30	317.45
P	316.76	322.40	316.76
Q	316.22	319.70	316.22
R	315.41	317.00	315.41
S	314.58	315.50	314.58
T	313.25	314.30	313.25
U	312.61	314.00	312.61
V	312.75	314.00	312.75
W	312.67	314.00	312.67
X	314.30	314.00	314.00
Y	314.18	314.00	314.00
Average	317.75	319.41	317.72

Point	Ex. Elevation	Pr. Elev	Lowest
AA	320.23	319.00	319.00
BB	320.66	320.52	320.52
CC	320.95	322.06	320.95
DD	321.25	322.06	321.25
EE	321.89	325.22	321.89
FF	324.13	326.76	324.13
GG	325.55	328.34	325.55
HH	327.14	329.93	327.14
II	327.25	329.09	327.25
JJ	327.31	328.28	327.31
KK	326.32	328.00	326.32
LL	324.53	328.00	324.53
MM	323.69	328.23	323.69
NN	323.80	328.51	323.80
OO	323.05	328.41	323.05
PP	323.10	327.81	323.10
QQ	322.58	326.19	322.58
RR	321.94	324.06	321.94
SS	321.55	321.82	321.55
TT	321.18	319.52	319.52
UU	320.76	319.00	319.00
VV	320.68	319.00	319.00
WW	320.65	319.00	319.00
XX	320.52	319.00	319.00
YY	320.32	319.00	319.00
Average	322.84	324.27	322.40



LOT 29.01
DRAINAGE CALCULATIONS:
REQUIRED STORAGE:
 NEW IMPERVIOUS AREA: 1,616 SF
 @ 3 GALLONS PER SF (SOIL PERMEABILITY < 1.0 IN/HR)
 1,616 SF X 3 GAL/SF X (1 CF / 7.481 GAL) = 649 CF
INFILTRATION BASIN VOLUME:
 HDPE PIPE VOLUME:
 $V = A*L = \pi r^2 L = [\pi * (1.50')^2 * (96')] = 678 CF$

LOT 29.03
DRAINAGE CALCULATIONS:
REQUIRED STORAGE:
 NEW IMPERVIOUS AREA: 5,240 SF
 @ 3 GALLONS PER SF (SOIL PERMEABILITY < 1.0 IN/HR)
 5,240 SF X 3 GAL/SF X (1 CF / 7.481 GAL) = 2,102 CF
INFILTRATION BASIN VOLUME:
 HDPE PIPE VOLUME:
 $V = A*L = \pi r^2 L = [\pi * (1.50')^2 * (300')] = 2,120 CF$

BUILDING HEIGHT CALCULATION
LOT 29.01
 FIRST FLOOR ELEVATION 324.50'
 + HEIGHT OF BUILDING ABOVE FIRST FLOOR 28.20'
 - AVERAGE GRADE 317.72'
 BUILDING HEIGHT 34.98'
LOT 29.03
 FIRST FLOOR ELEVATION 329.50'
 + HEIGHT OF BUILDING ABOVE FIRST FLOOR 27.9'
 - AVERAGE GRADE 322.40'
 BUILDING HEIGHT 35.00'

Existing		Proposed	
Description	Area (SF)	Description	Area (SF)
Garage	629	Garage	629
House	0	House	2,280
Driveway	2,245	Driveway	1,710
Walls	213	Walls	84
Existing Impervious		3,087	
Proposed Impervious		4,703	
Total Impervious Increase		1,616	

Existing		Proposed	
Description	Area (SF)	Description	Area (SF)
Garage	0	House	2,820
Driveway	0	Driveway	2,333
Walls	258	Walls	345
Existing Impervious		258	
Proposed Impervious		5,498	
Total Impervious Increase		5,240	

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REVISION	DESCRIPTION	DATE	BY
2	REVISED PER MODIFICATIONS TO CONCEPTUAL GRADING PLOT PLAN	07/07/2023	JMP
1	REVISED PER REVIEW ENGINEER COMMENTS	03/02/2023	JMP

PREPARED FOR
509 PARK STREET LLC
 509 PARK STREET
 LOT 29 BLOCK 2710
 TOWNSHIP OF MONTCLAIR
 ESSEX COUNTY, NEW JERSEY

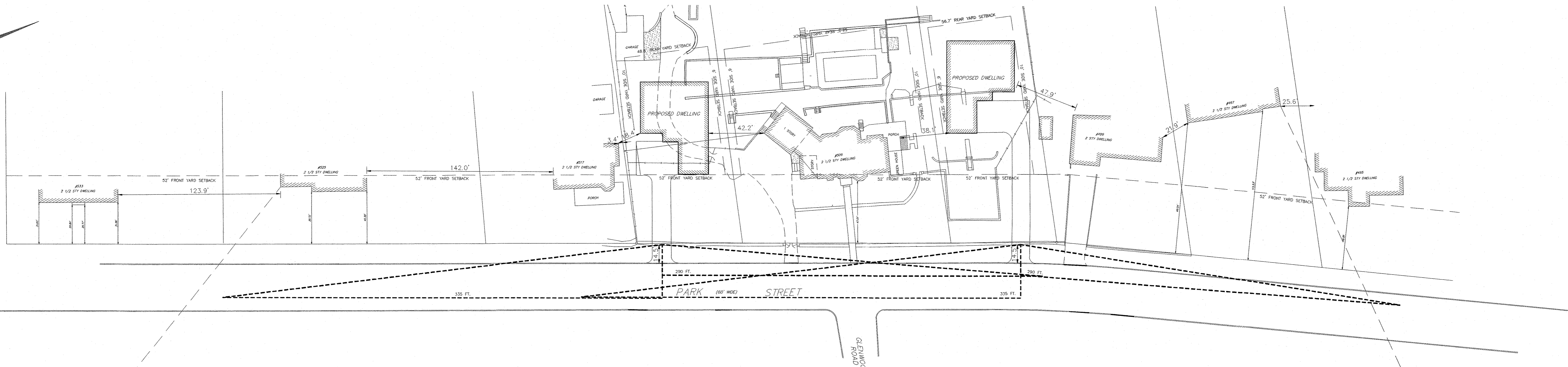
CONCEPTUAL GRADING PLOT PLANS

DESIGNER: JMP
 DRAFTSMAN: SPD
 CHECKED BY: JMP
 PROJECT NO.: 22-219
 SCALE: 1" = 20'
 SHEET: S-2

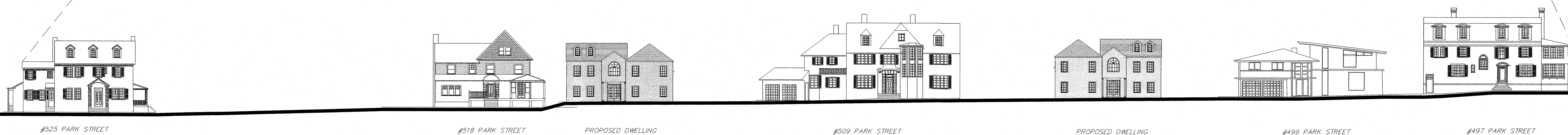
J. MICHAEL PETRY-PE, PP, RA
 NJ PROFESSIONAL ENGINEER LIC. NO. 36662
 DATED: 12/14/2022

DEED NORTH
INSTR. NO. 2022056177

OVERLOOK ROAD
(50' WIDE)

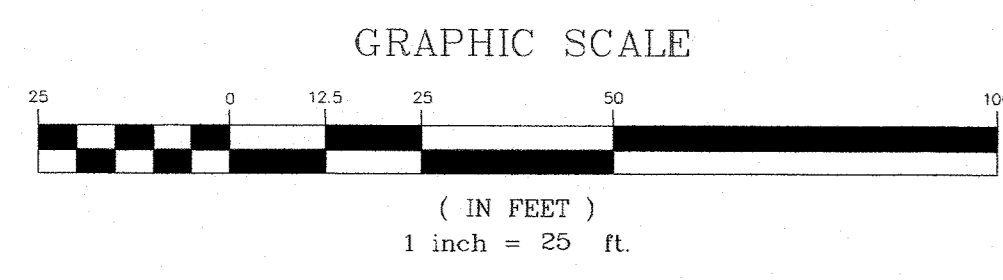
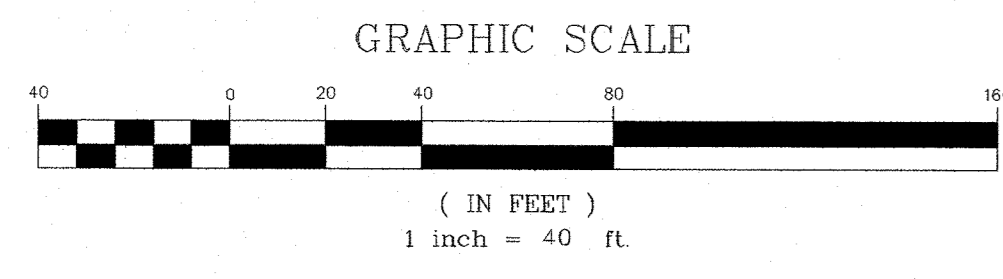


FRONT YARD ANALYSIS
SCALE: 1"=40'



PARK STREET

STREETSCAPE
SCALE: 1"=25'



Front Yard Setback	
Lot	Existing Setback
1	29.8
31	39.7
30	39.6
29	47
28	60.5
27	99.5
26	48.09
Average Front Yard Setback	52.0

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "ALTA/NSPS LAND TITLE SURVEY, MAP OF PROPERTY OF, 509 PARK STREET LLC, 509 PARK STREET, LOT 29 BLOCK 2710, TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY" PREPARED BY ZL LAND SURVEYING, LLC, DATED 10-26-2022, AND SIGNED BY ZDRAVKO LUCIN, LS

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2	REVISED PER MODIFICATIONS TO CONCEPTUAL GRADING PLOT PLAN	07/07/2023	JMP
1	REVISED PER REVIEW ENGINEER COMMENTS	03/02/2023	JMP

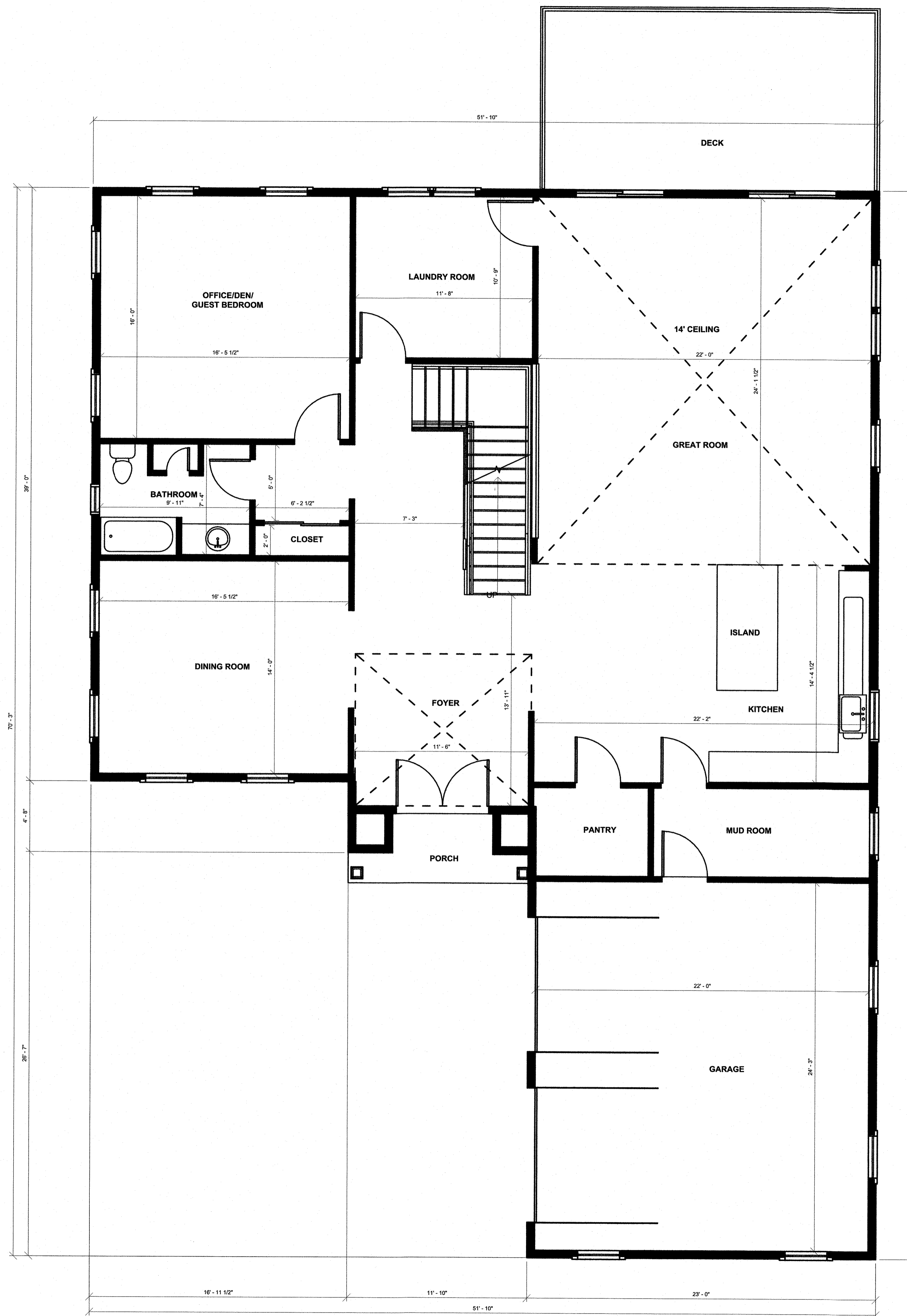
PREPARED FOR
509 PARK STREET LLC
509 PARK STREET
LOT 29 BLOCK 2710
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY, NEW JERSEY

STREETSCAPE & FRONT YARD ANALYSIS

PETRY ENGINEERING, LLC
DIVISION OF CONCRETE AFFAIRS LICENSE NUMBER #A084819000
100 HIGHLAND AVENUE • FAIRFIELD • NEW JERSEY • 07004
TEL: 973-227-7000 • FAX: 973-227-7004

J. MICHAEL PETRY-PE, PP, RA
NJ PROFESSIONAL ENGINEER LIC. No. 36982 DATED: 11/16/2022

Designer: JMP
Draftsman: MSS
Checked By: JMP
Project No.: 22-219
Scale: AS SHOWN
Sheet: S-3



1 FIRST FLOOR PLAN
1/4" = 1'-0"

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

2	REMOVED REFERENCE TO LOT 29.03	07/06/2023	JMP
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP
REVISION	DESCRIPTION	DATE	BY

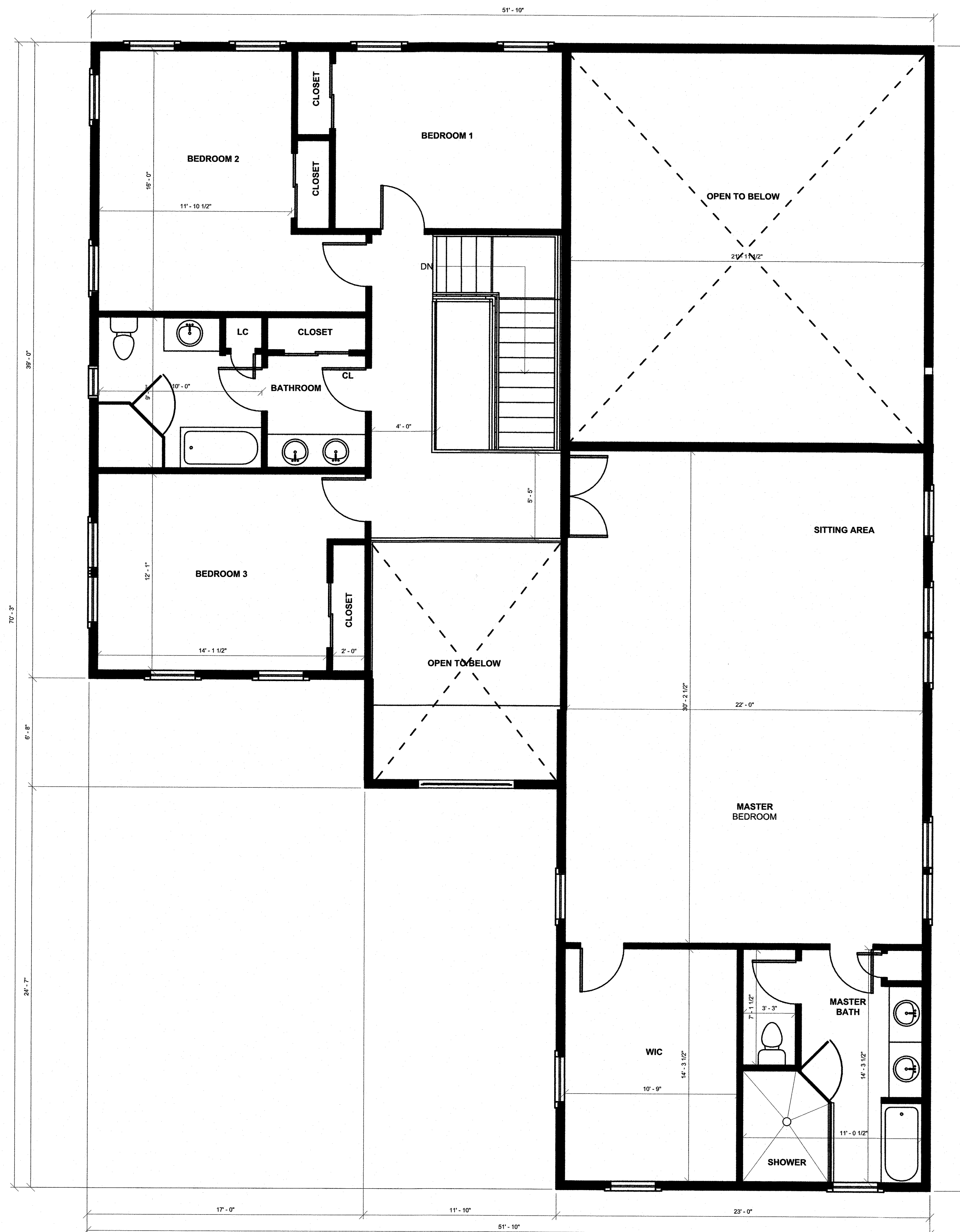
PROPOSED NEW
509 PARK STREET
LOT 29 - BLOCK 2710
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY NEW JERSEY

FIRST FLOOR PLAN - LOT 29.01

J. MICHAEL PETRY - ARCHITECT
155 PASSAIC AVENUE - FAIRFIELD - NEW JERSEY - 07004
TEL. (973) 227-8700 FAX (973) 227-7074

J. MICHAEL PETRY - AIA
NJ REGISTERED ARCHITECT LIC. No. 13144 DATED: 06-06-2022

Designer: JMP
Draftsman: MSS
Checked By: JMP
Project No.: 21-176
Scale: 1/4" = 1'-0"
Sheet: A-101



① SECOND FLOOR PLAN
1/4" = 1'-0"

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REVISION	DESCRIPTION	DATE	BY
2	REMOVED REFERENCE TO LOT 29.03	07/06/2023	JMP
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP

PROPOSED NEW
-
509 PARK STREET
LOT 29 - BLOCK 2710
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY NEW JERSEY

SECOND FLOOR PLAN - LOT 29.01

J. MICHAEL PETRY - ARCHITECT
155 PASSAIC AVENUE - FAIRFIELD - NEW JERSEY - 07004
TEL. (973) 227-8700 FAX (973) 227-7074

J. MICHAEL PETRY-AIA
NJ REGISTERED ARCHITECT LIC. No. 13144 DATED: 06-06-2022

Designer: JMP
Draftsman: MSS
Checked By: JMP
Project No.: 21-176
Scale: 1/4" = 1'-0"
Sheet: A-102



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

2	REMOVED REFERENCE TO LOT 29.03	07/06/2023	JMP
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP
REVISION	DESCRIPTION	DATE	BY
PROPOSED NEW - 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY PROPOSED ELEVATIONS - LOT29.01			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL. (973) 227-9700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet: A-201
J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			DATED: 06-06-2022

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

ROOF PEAK
28' - 3"

2ND FLOOR CEILING
19' - 0"

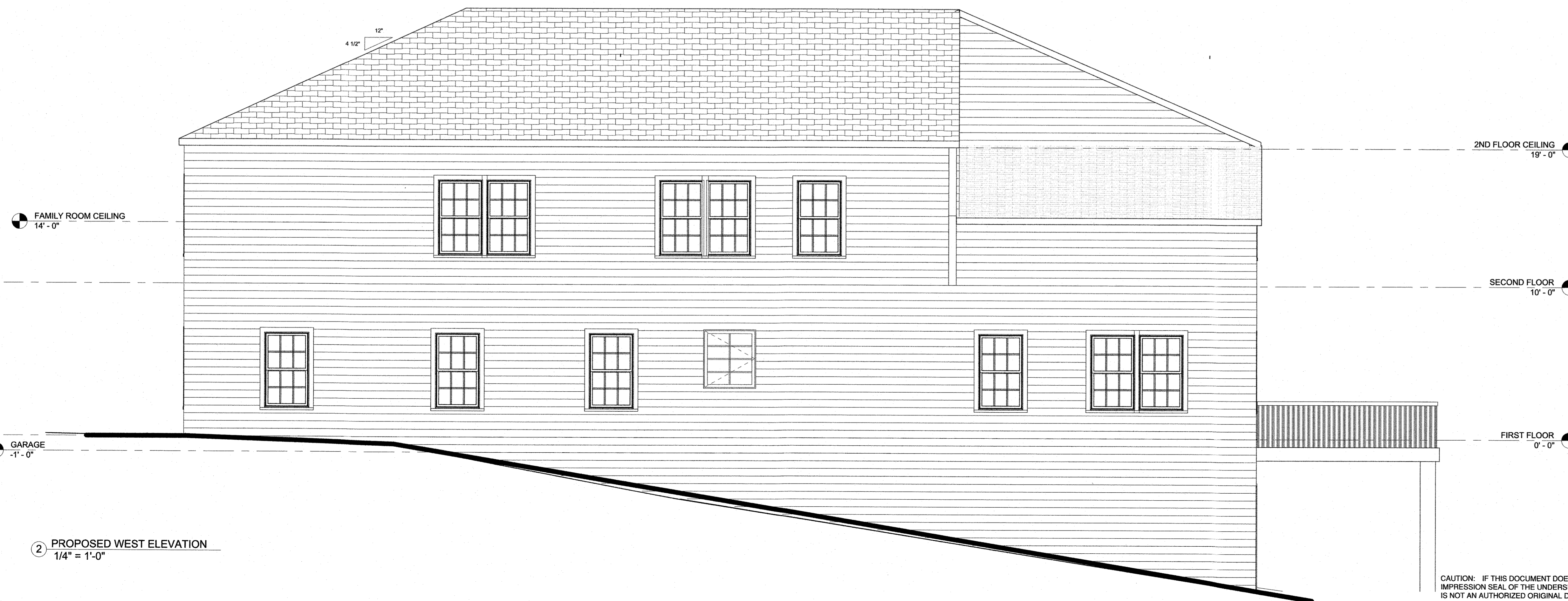
FAMILY ROOM CEILING
14' - 0"

SECOND FLOOR
10' - 0"

FIRST FLOOR
0' - 0"
GARAGE
-1' - 0"



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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2	REMOVED REFERENCE TO LOT 29.03	07/06/2023	JMP
1	PER REVIEW ENGINEERS COMMENTS	03/02/2023	JMP
REVISION	DESCRIPTION	DATE	BY

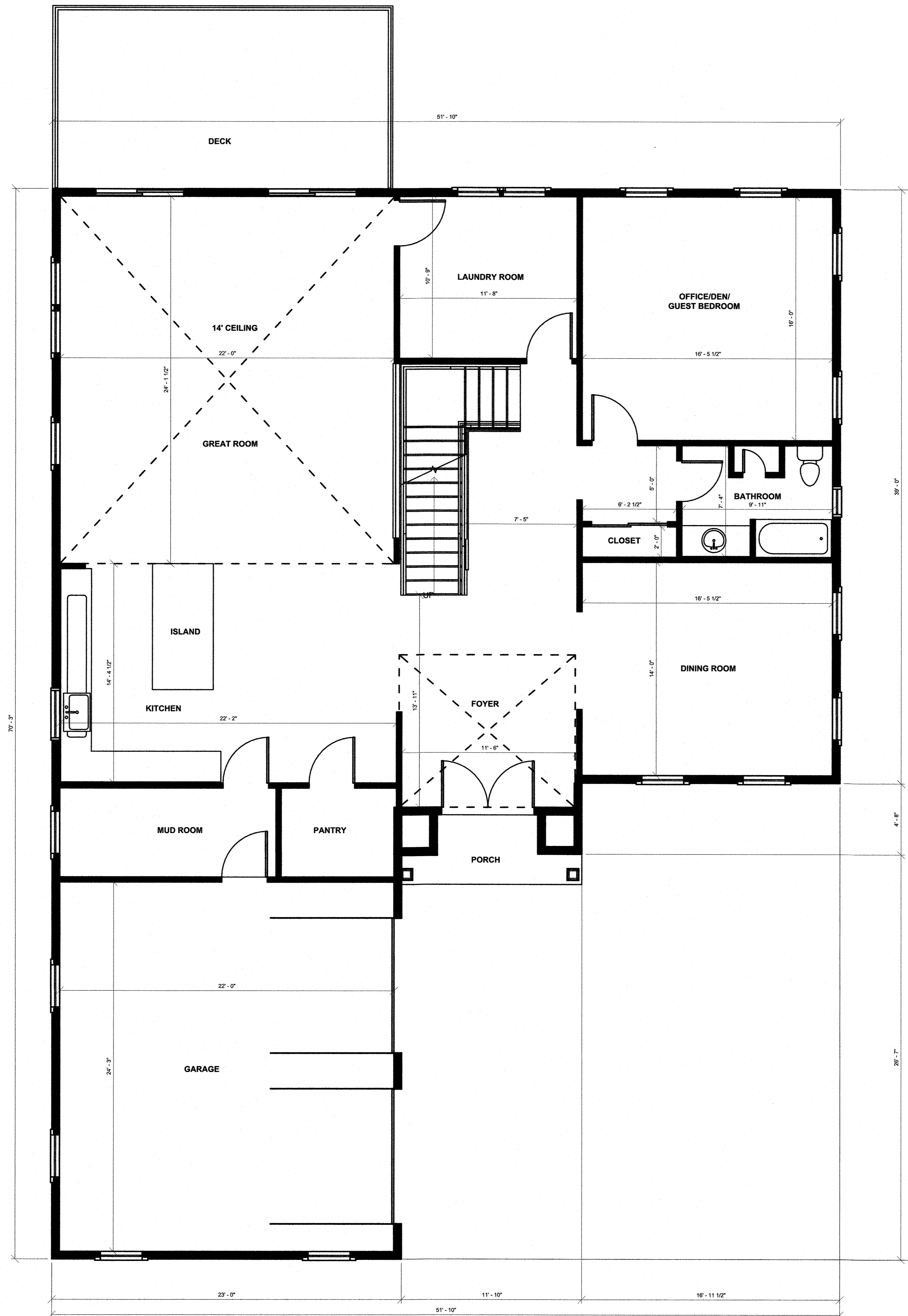
PROPOSED NEW
-
509 PARK STREET
LOT 29 - BLOCK 2710
TOWNSHIP OF MONTCLAIR
ESSEX COUNTY NEW JERSEY

PROPOSED ELEVATIONS - LOT 29.01

J. MICHAEL PETRY - ARCHITECT
155 PASSAIC AVENUE · FAIRFIELD · NEW JERSEY · 07004
TEL. (973) 227-8700 FAX (973) 227-7074

J. MICHAEL PETRY-AIA
NJ REGISTERED ARCHITECT LIC. No. 13144 DATED: 06-06-2022

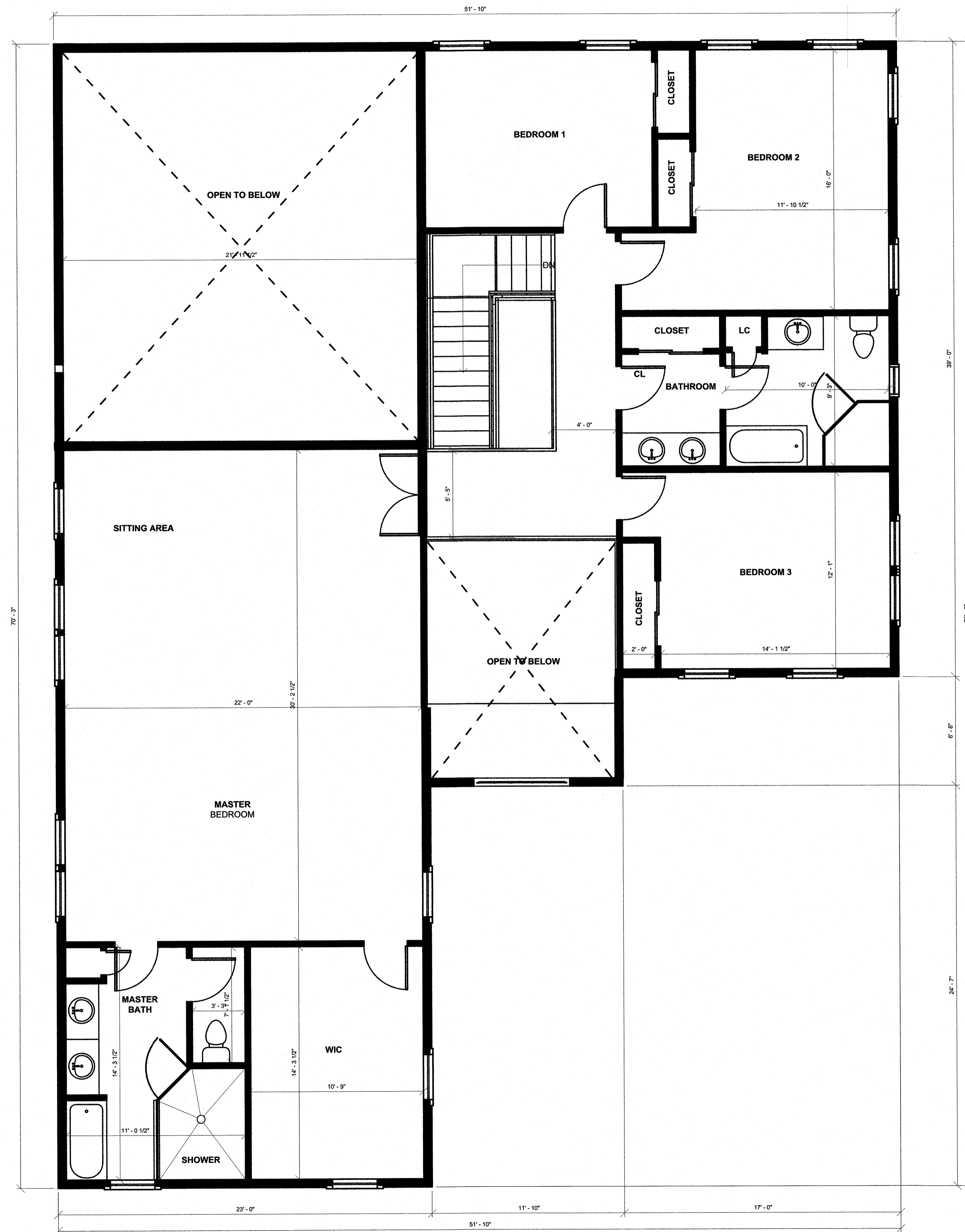
Designer: JMP
Draftsman: MSS
Checked By: JMP
Project No.: 21-176
Scale: 1/4" = 1'-0"
Sheet: A-202



① FIRST FLOOR PLAN
1/4" = 1'-0"

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

REVISION	DESCRIPTION	DATE	BY
PROPOSED NEW - 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY FIRST FLOOR PLAN - LOT 29.03			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet: A1-101
J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			DATED: 07-06-2023



1 SECOND FLOOR PLAN
1/4" = 1'-0"

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REVISION	DESCRIPTION	DATE	BY
PROPOSED NEW 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY SECOND FLOOR PLAN - LOT 29.03			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE - FAIRFIELD - NEW JERSEY - 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet:
J. MICHAEL PETRY-AIA NJ REGISTERED ARCHITECT LIC. No. 13144			DATED: 07-06-2023 A1-102



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



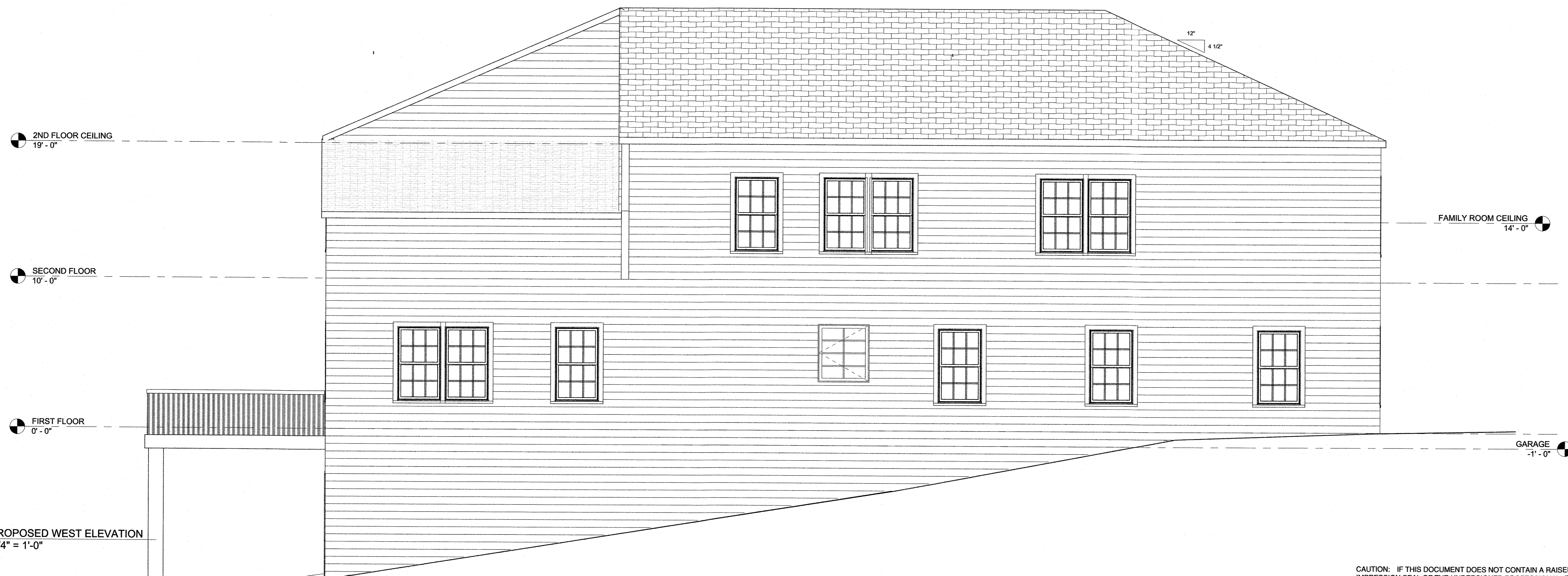
2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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REVISION	DESCRIPTION	DATE	BY
PROPOSED NEW - 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY PROPOSED ELEVATIONS - LOT 29.03			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE · FAIRFIELD · NEW JERSEY · 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet:
J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			DATED: 07-06-2023 A1-201



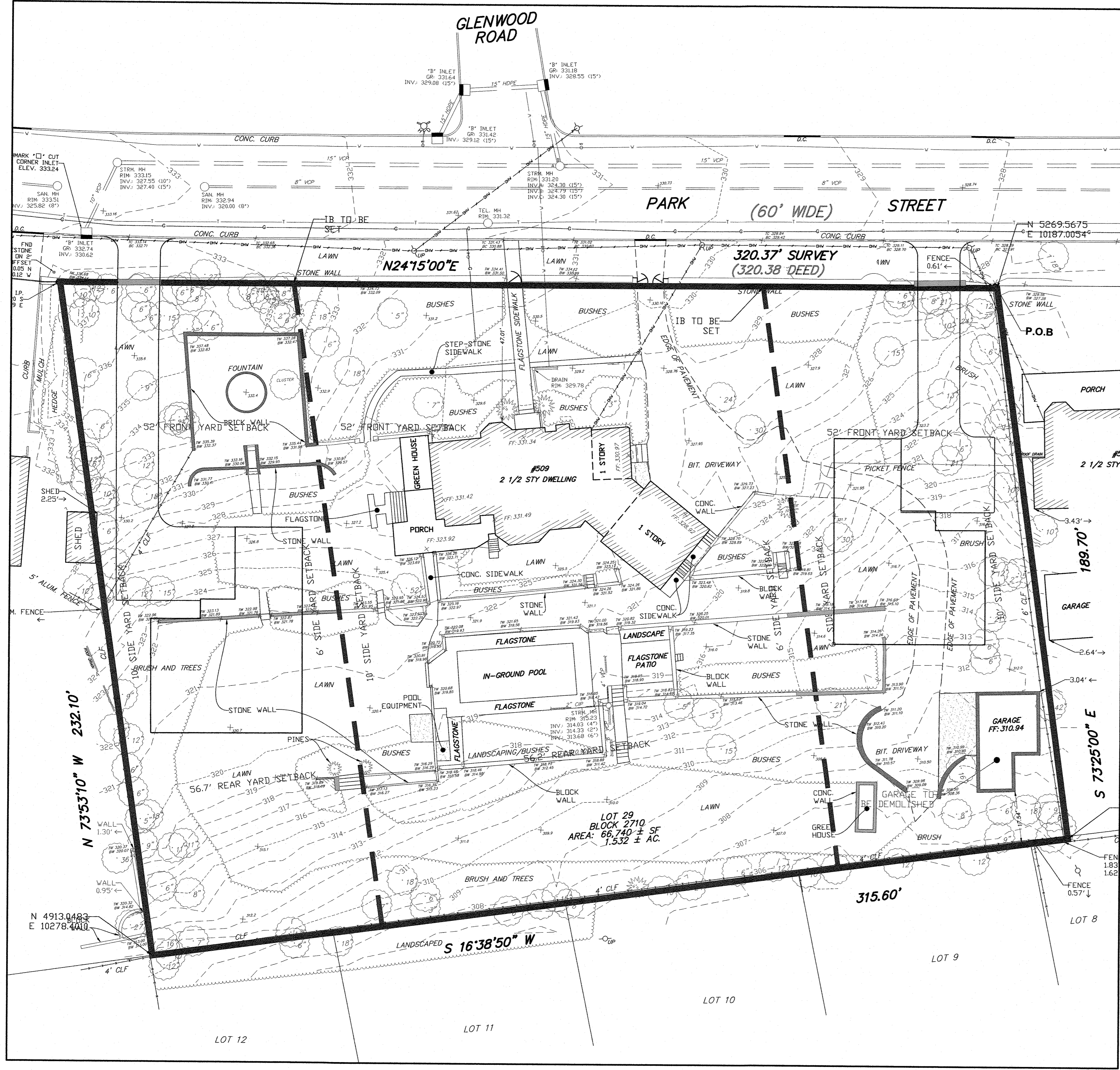
① PROPOSED NORTH ELEVATION
1/4" = 1'-0"



② PROPOSED WEST ELEVATION
1/4" = 1'-0"

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

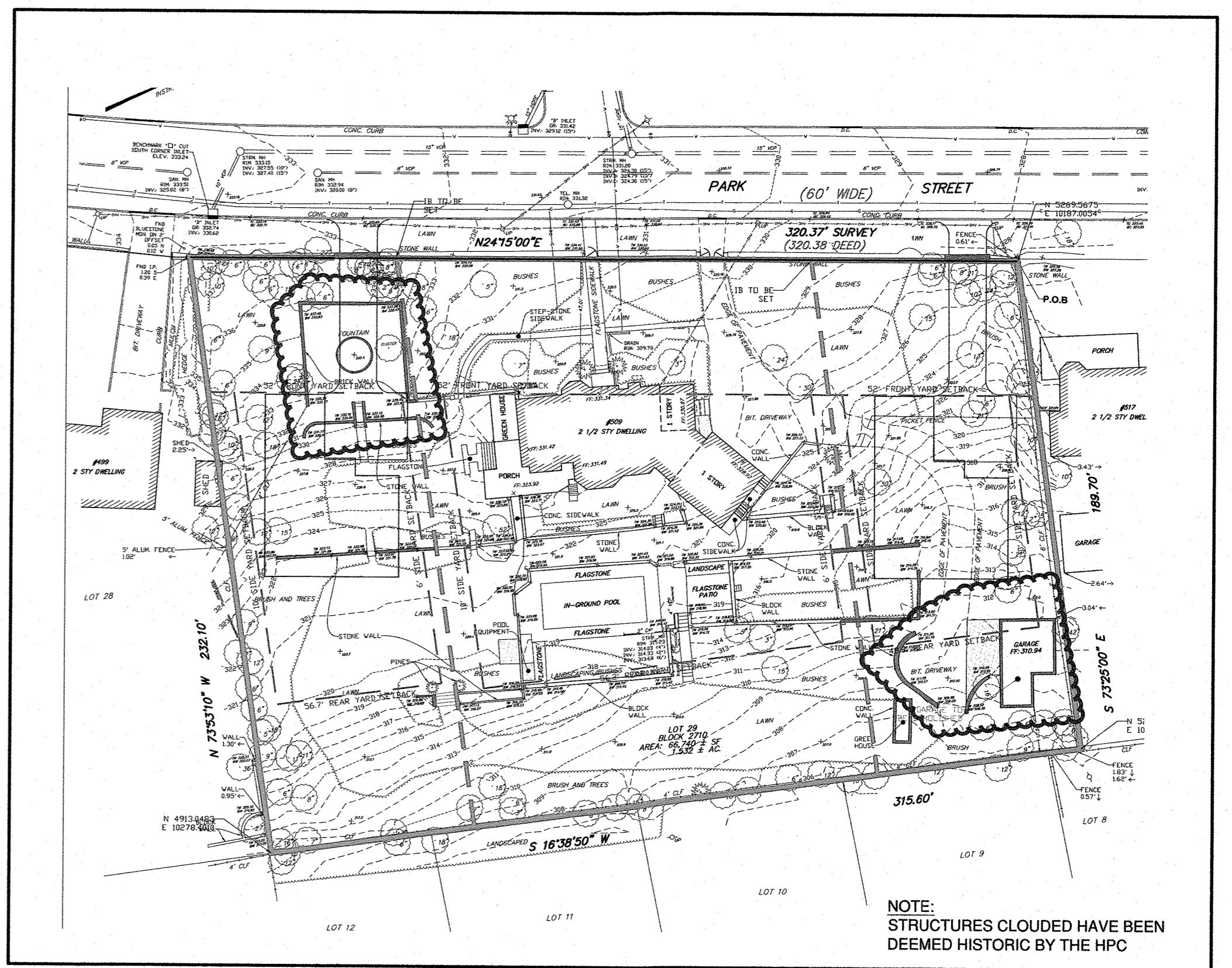
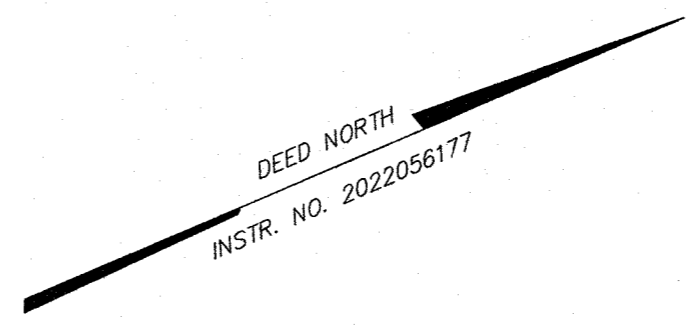
REVISION	DESCRIPTION	DATE	BY
PROPOSED NEW 509 PARK STREET LOT 29 - BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY NEW JERSEY PROPOSED ELEVATIONS - LOT 29.03			
J. MICHAEL PETRY - ARCHITECT 155 PASSAIC AVENUE • FAIRFIELD • NEW JERSEY • 07004 TEL. (973) 227-8700 FAX (973) 227-7074			Designer: JMP Draftsman: MSS Checked By: JMP Project No.: 21-176 Scale: 1/4" = 1'-0" Sheet:
J. MICHAEL PETRY-AIA <small>NJ REGISTERED ARCHITECT LIC. No. 13144</small>			DATED: 07-06-2023 A1-202



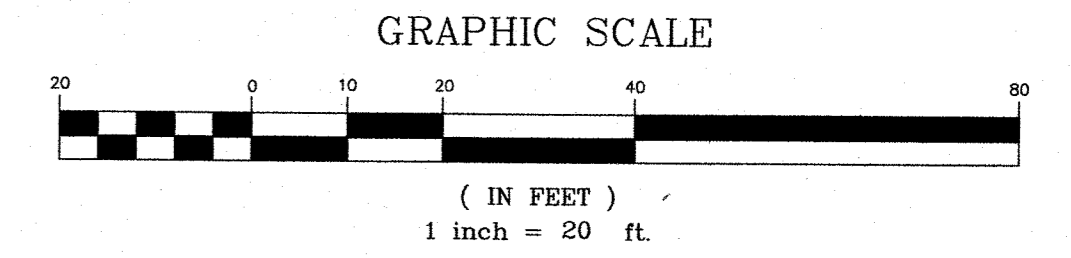
SURVEY - LAYOUT - AND DEMOLITION PLAN

LEGEND

- TO BE DEMOLISHED
- DEEMED BY HPC AS HISTORIC AND NOT BEING DEMOLISHED
- PROPERTY/SUBDIVISION LINE



MARKUP FROM HPC SHOWING HISTORIC STRUCTURES
RECEIVED FROM HPC - JUNE 2, 2023



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REVISION	DESCRIPTION	DATE	BY
PREPARED FOR 509 PARK STREET LLC 509 PARK STREET LOT 29 BLOCK 2710 TOWNSHIP OF MONTCLAIR ESSEX COUNTY, NEW JERSEY			
HPC FIGURE			
			Designer: J.M.P. Draftsman: M.S.S. Checked By: J.M.P. Project No.: 22-219
J. MICHAEL PETRY-PE,PP,RA <small>NJ PROFESSIONAL ENGINEER LIC. NO. 38862</small>			Scale: N.T.S. Sheet: FIG 1