

INTERIOR RENOVATION

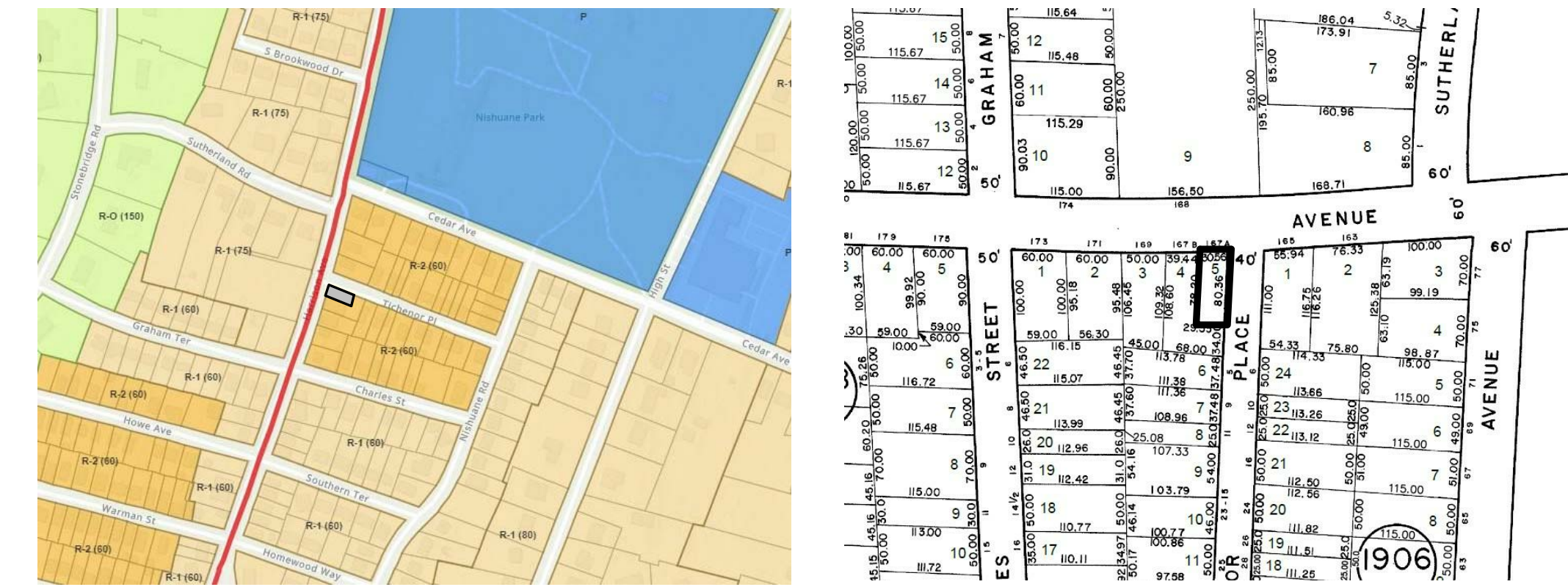
167 HARRISON AVE

MONTCLAIR, NJ 07042

Block: 1907, Lot: 5
ESSEX COUNTY

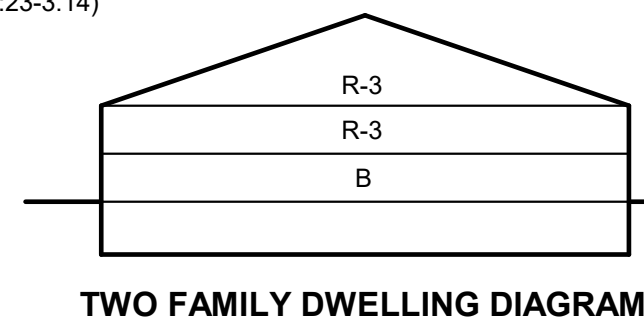
ZONING DATA

ZONING DISTRICT: **R-2**
R-2 TWO-FAMILY RESIDENTIAL DISTRICT



BUILDING CODE SUMMARY

GOVERNING CODES:
INTERNATIONAL BUILDING CODE 2021 NEW JERSEY EDITION (NJAC 5:23-3.14)
ADOPTED SUB-CODES:
SUBCHAPTER 6 (NUJCC), NJAC 5:23-6
2021 INTERNATIONAL FIRE CODE (IFC)
2021 NATIONAL STANDARD PLUMBING CODE (NJAC 5:23-3.15)
2020 NATIONAL ELECTRIC CODE (NFPA 70) (NJAC 5:23-3.16)
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL MECHANICAL CODE (IMC) (NJAC 5:23-3.20)
2021 INTERNATIONAL FUEL GAS CODE (IFGC) (NJAC 5:23-3.22)
FAIR HOUSING ACT DESIGN MANUAL, APRIL 1998



OCCUPANCY CLASSIFICATION	TYPE OF CONSTRUCTION	SPRINKLER
R-3	VA	NOT REQUIRED

CHAPTER 4 (RE) RESIDENTIAL ENERGY EFFICIENCY - SECTION R402 - BUILDING THERMAL ENVELOPE

CLIMATE ZONE 4
• CEILING - R-49
• WOOD FRAMED WALL - R-20
• MASS WALL - R-13
• FLOOR - R-19

§ 5:23-6.27 BASIC REQUIREMENTS—GROUPS R-3 AND R-5

(a) SMOKE DETECTION WITHIN DWELLING UNITS: SMOKE ALARMS THAT MEET THE SPECIFICATIONS OF THE BUILDING SUBCODE OR ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE, SHALL BE INSTALLED. THE SMOKE ALARMS SHALL BE INSTALLED IN THE LOCATIONS INDICATED IN THE BUILDING SUBCODE OR ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE, AND PLACED WITHIN THOSE LOCATIONS IN ACCORDANCE WITH NFPA 72. (FIRE.)

(b) EGRESS WINDOWS:
2. WHEN THE WORK BEING PERFORMED CREATES A BEDROOM BELOW THE FOURTH FLOOR, AT LEAST ONE SLEEPING ROOM WINDOW OR EXTERIOR DOOR SHALL:
I. BE OPERABLE;

II. HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES; AND
III. HAVE A WIDTH OF AT LEAST 20 INCHES, A HEIGHT OF AT LEAST 24 INCHES, AND HAVE A MINIMUM TOTAL AREA OF 5.7 SQUARE FEET MEASURED FROM HEAD TO SILL AND SIDE TO SIDE.
IV. WINDOWS ARE NOT REQUIRED TO MEET THESE REQUIREMENTS IN BUILDINGS WHERE THE SLEEPING ROOM IS PROVIDED WITH A DOOR TO A CORRIDOR HAVING ACCESS TO TWO REMOTE EXITS OR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. (PLAN REVIEW—BUILDING, FIRE, INSPECTION—BUILDING)

(d) STRUCTURAL ELEMENTS: STRUCTURAL ELEMENTS WHICH ARE UNCOVERED DURING THE COURSE OF THE REHABILITATION AND WHICH ARE FOUND TO BE UNSOUND OR OTHERWISE STRUCTURALLY DEFICIENT, SHALL BE REINFORCED, SUPPORTED OR REPLACED IN ACCORDANCE WITH THE APPLICABLE STRUCTURAL DESIGN CRITERIA OF THE BUILDING SUBCODE OR ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE. WHERE STRUCTURAL ELEMENTS ARE SOUND, THERE IS NO EXCESSIVE DEFLECTION (DEFINED AS DEFLECTION IN EXCESS OF THE STANDARDS SET FORTH IN N.J.A.C. 5:23-6.7(C)1), AND FIXED LOADS ARE NOT CHANGING IN A WAY THAT WILL INCREASE THE STRESSES ON EXISTING STRUCTURES BEYOND THAT WHICH IS PERMITTED BY N.J.A.C. 5:23-6.7(C), EXISTING STRUCTURAL ELEMENTS SHALL BE PERMITTED TO REMAIN. (BUILDING)

(f) ELECTRICAL EQUIPMENT AND WIRING:
1. ALL AREAS SHALL HAVE RECEPTACLE AND LIGHTING OUTLETS IN ACCORDANCE WITH SECTIONS 210.52 AND 210.70, RESPECTIVELY, OF THE ELECTRICAL SUBCODE.
1. IN THE EVENT THAT RECEPTACLE AND LIGHTING OUTLETS CANNOT BE INSTALLED IN THE REQUIRED LOCATIONS WITHOUT UPDATING THE SMALL APPLIANCE BRANCH CIRCUITS, KITCHEN AREAS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS OR EQUIVALENT AND ONE SWITCH CONTROLLED LIGHTING OUTLET. AT LEAST ONE OF THE REQUIRED DUPLEX RECEPTACLES SHALL BE PROVIDED TO SERVE COUNTER SPACE.
2. ELECTRICAL SERVICE EQUIPMENT (OVERCURRENT DEVICES) SHALL BE LOCATED WHERE THEY WILL NOT BE SUBJECT TO PHYSICAL DAMAGE AND SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITIBLE MATERIAL.

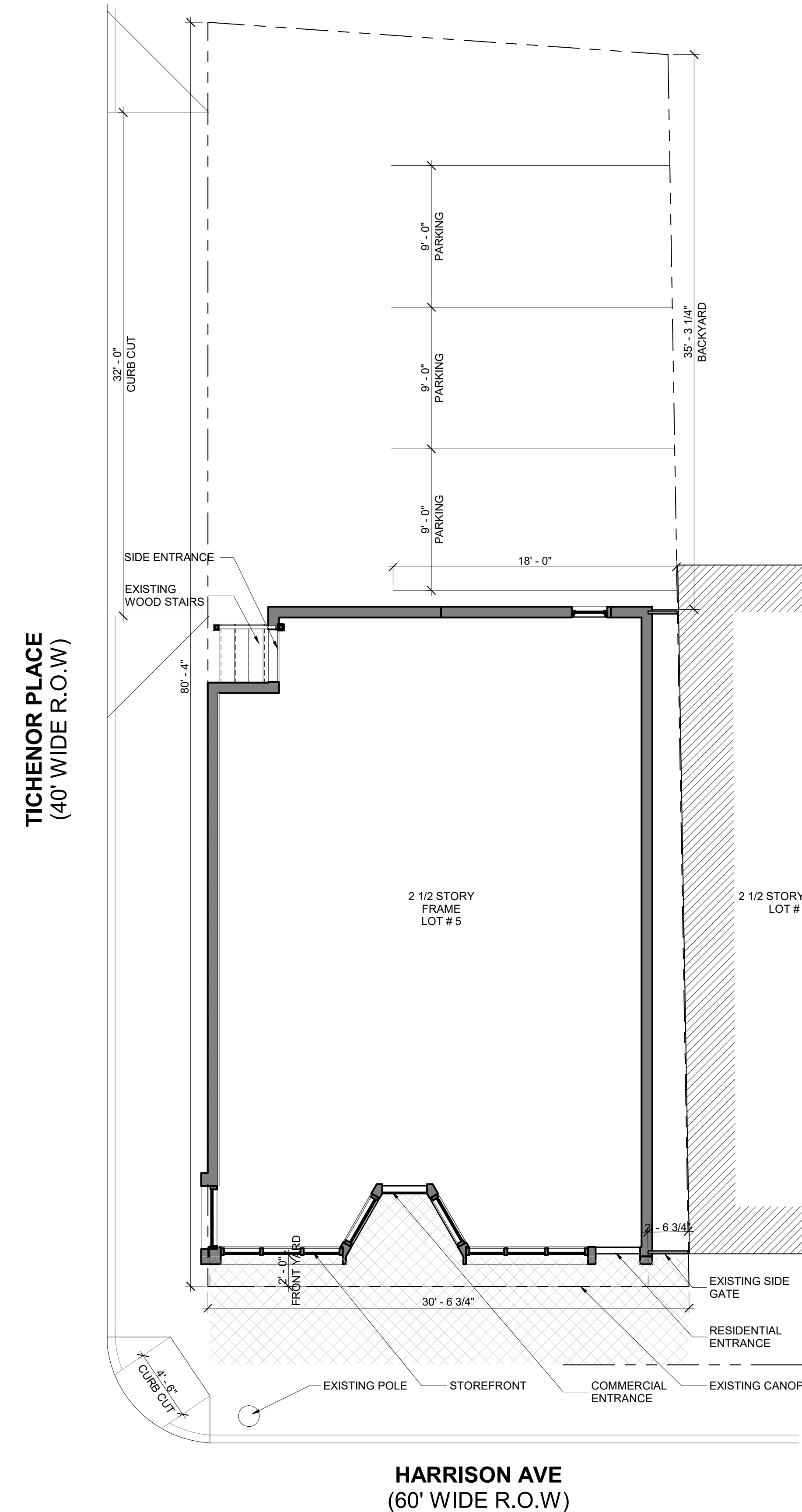
(h) PLUMBING FIXTURES: EACH DWELLING UNIT SHALL BE PROVIDED WITH A MINIMUM OF ONE KITCHEN SINK, ONE WATER CLOSET, ONE LAVATORY, AND ONE BATHTUB OR SHOWER OR BATHTUB/SHOWER COMBINATION.

ZONING TABULATION CHART (DETACHED/ATTACHED RESIDENTIAL DISTRICT)					
ITEM	PERMITTED	EXISTING	PROPOSED	VARIANCE	NOTE
PRINCIPAL USE	TWO FAMILY DETACHED HOUSE	TWO FAMILY DETACHED HOUSE	TWO FAMILY DETACHED HOUSE	NO	
LOT AREA	3,000 SF	2,370 SF	2,370 SF	NO	
FRONTAGE	30'-0"	25'-0"	25'-0"	NO	
MIN. LOT WIDTH	30'-0"	30'-7"	30'-7"	NO	
MIN. LOT DEPTH	100'-0"	80'-4"	80'-4"	NO	
MIN. FRONT YARD	25'-0"	2'-0"	2'-0"	NO	
MIN. REAR YARD	25'-0"	35'-3"	35'-3"	NO	
MAX. SIDE YARD	ONE SIDE: 6'-0"; OTHER SIDE: 10'-0"	EAST SIDE: 2'-6"; WEST SIDE: 0'-0" TOTAL: 2'-6"	EAST SIDE: 2'-6"; WEST SIDE: 0'-0" TOTAL: 2'-6"	NO	
MAX. STRUCTURE HEIGHT	2 1/2 STORIES / 35'-0"	2 1/2 STORIES / 34'-0"	2 1/2 STORIES / 34'-0"	NO	
MIN. RESIDENTIAL PARKING SPACE	OFF-STREET PARKING FOR NOT MORE THAN FIVE VEHICLES, 12' WIDTH X 18' DEPTH	12' WIDTH X 18' DEPTH	12' WIDTH X 18' DEPTH	NO	

LIST OF DRAWINGS	
SHEET NUMBER	SHEET NAME
A0.00	COVER SHEET
A1.00	EXISTING & DEMOLITION PLANS
A1.01	PROPOSED FLOOR PLANS
A1.02	PROPOSED SECTION & FRAMING PLANS
A3.01	EXISTING BUILDING ELEVATIONS
A3.02	PROPOSED BUILDING ELEVATIONS
EO.01	PROPOSED ELECTRICAL PLANS
PO.01	PLUMBING & GAS RISERS



CURRENT PHOTOS
SCALE: NTS



TICHENOR PLACE
(40' WIDE R.O.W.)

HARRISON AVE
(60' WIDE R.O.W.)

1 SITE PLAN
SCALE: 3/16" = 1'-0"

ARCHITECT:
AHMED A. EMARA
NJ LICENSE NO. 21A102061100

546 POST AVENUE, LYNDHURST
NEW JERSEY, 07071

732.713.1385
AHMED.A.EMARA@GMAIL.COM

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ESSEX COUNTY, NJ 07042

OWNER:
ANDREW & PHILIP
ORPHANIDIS
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MONTCLAIR, NJ 07042
201-667-8603

CONSULTANTS:

ARCHITECT'S SEAL:

PROGRESS DATE: 06/19/2023

AE
PRINCIPAL IN CHARGE

MM
PROJECT TEAM

AE
CHECKED BY
SHEET DESCRIPTION
COVER SHEET

ISSUED FOR:	
No.	Description

A0.00

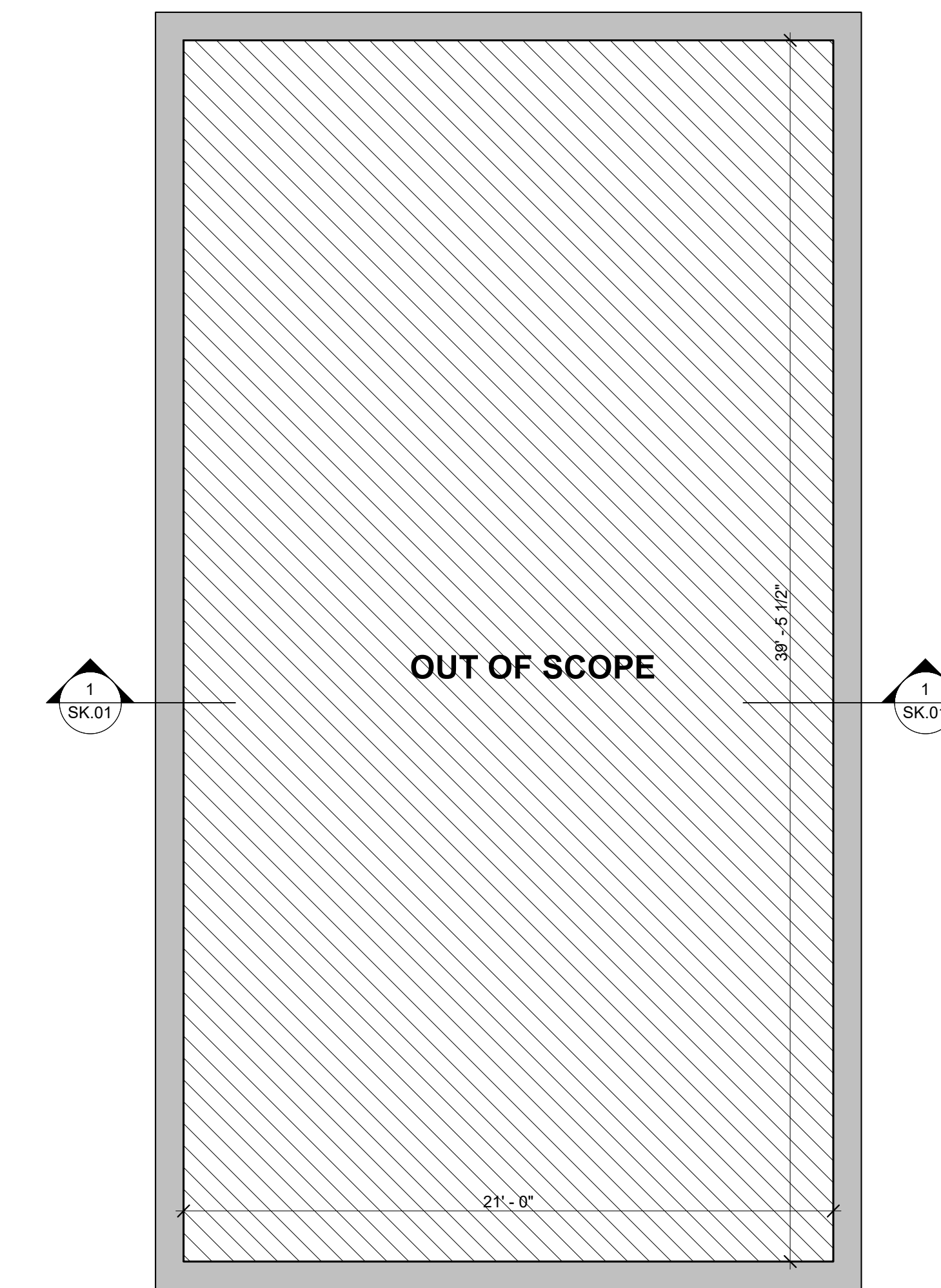
SHEET NUMBER

DOB APPROVAL STAMP:

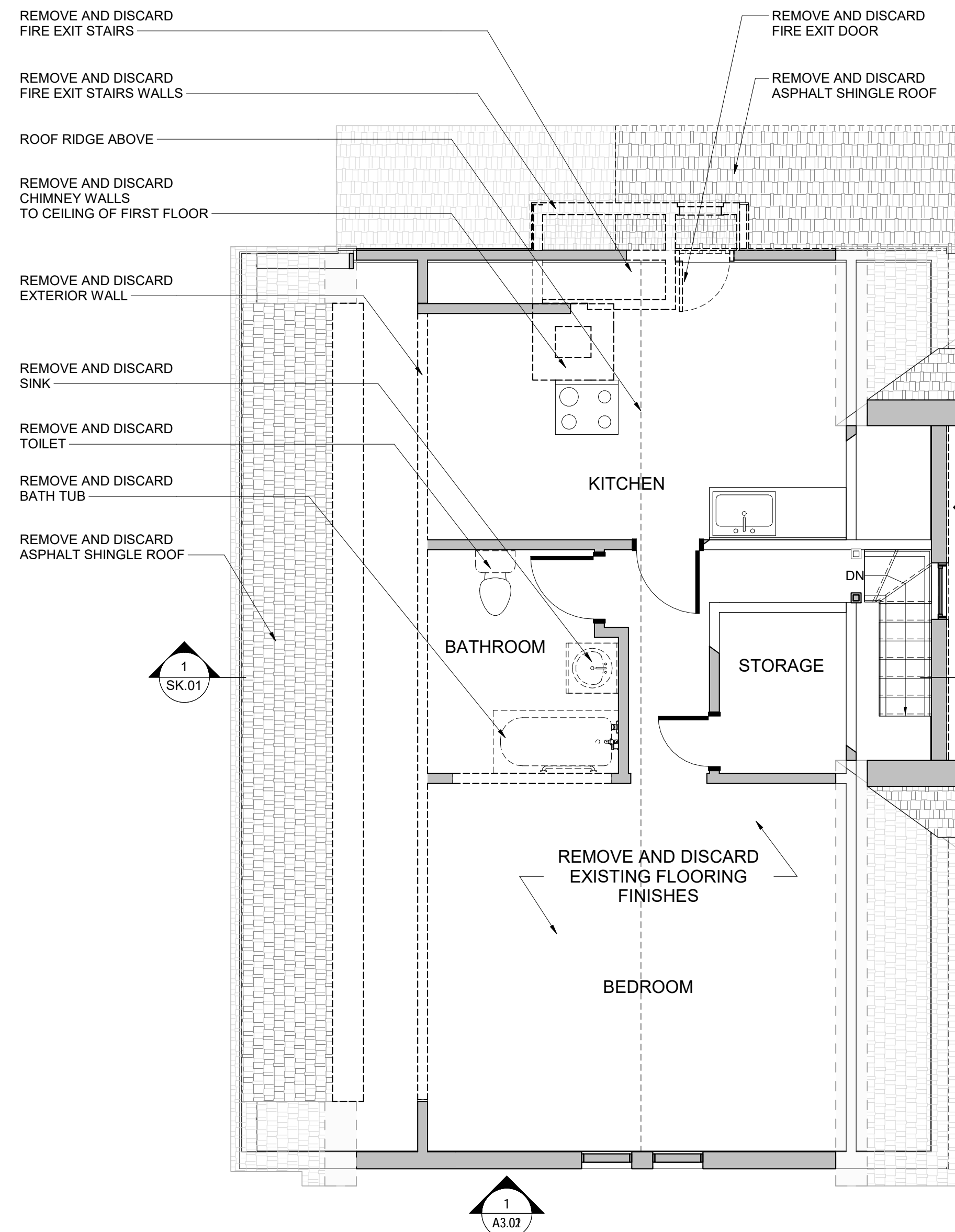
DEMOLITION NOTES

1. DEMOLITION AND REMOVAL WORK SHALL BE AS SHOWN ON THE DRAWINGS AS REQUIRED TO MAKE WAY FOR NEW CONSTRUCTION. ALL SUCH WORK REQUIRED IN CONNECTION WITH THIS PROJECT SHALL BE DONE WITH DUE CARE, INCLUDING PROVIDING TEMPORARY SUPPORTS WHERE REQUIRED AT EXISTING LOAD-BEARING LINES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED TO ANY PART OF THE EXISTING STRUCTURE OR EXISTING AREAS SHOWN AS "TO REMAIN". DAMAGES SHALL BE PATCHED TO THE ORIGINAL CONDITION, FIRE RATING, FINISH, AND COLOR UNLESS OTHERWISE APPROVED BY ARCHITECT.
3. DRAWINGS SHOW ONLY GENERAL SCOPE OF REMOVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS, DEMOLITION, EXISTING SERVICE DISCONNECTIONS AND RELATED ITEMS NOT SHOWN BUT REQUIRED TO COMPLETE THE CONTRACT WORK AS SHOWN ON DRAWINGS.
4. CONTRACTOR SHALL REMOVE ALL MECHANICAL AND PLUMBING EQUIPMENT, INCLUDING AND NOT LIMITED TO, ALL DUCTS, VENTS, PIPING, FIXTURES AND METERS. GAS AND WATER SERVICE SHALL BE CAPPED AT THE EXISTING P.O.E. AND COORDINATED WITH ALL ENTITIES HAVING JURISDICTION.
5. CONTRACTOR SHALL REMOVE ALL ELECTRICAL EQUIPMENT, WIRING, FIXTURES AND METERS. ELECTRICAL SERVICE SHUT-OFF SHALL BE COORDINATED WITH ENTITIES HAVING JURISDICTION.

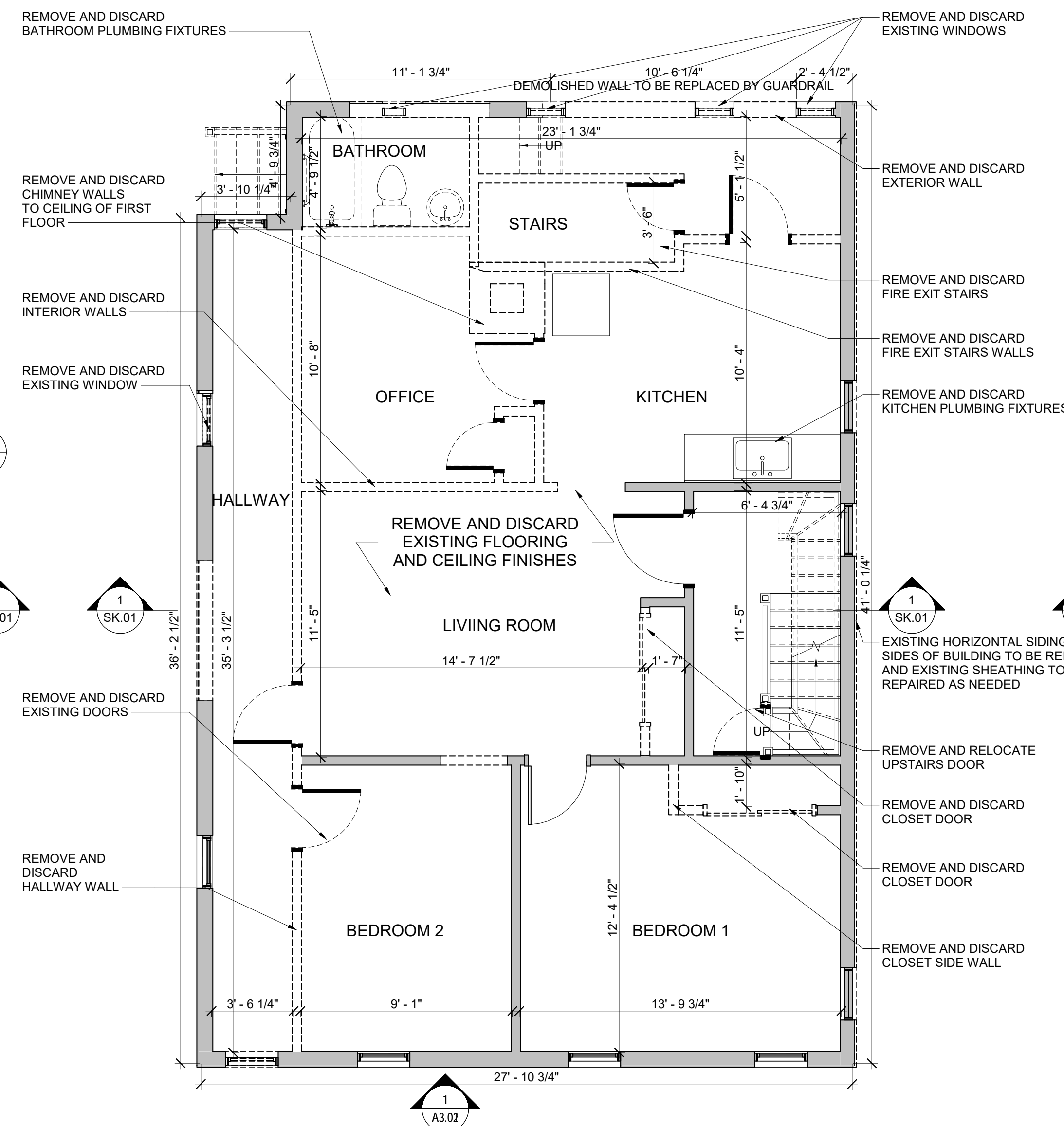
WALL TYPE LEGEND	
PROPOSED WALL	
EXISTING WALL	
DEMOLISHED WALL	



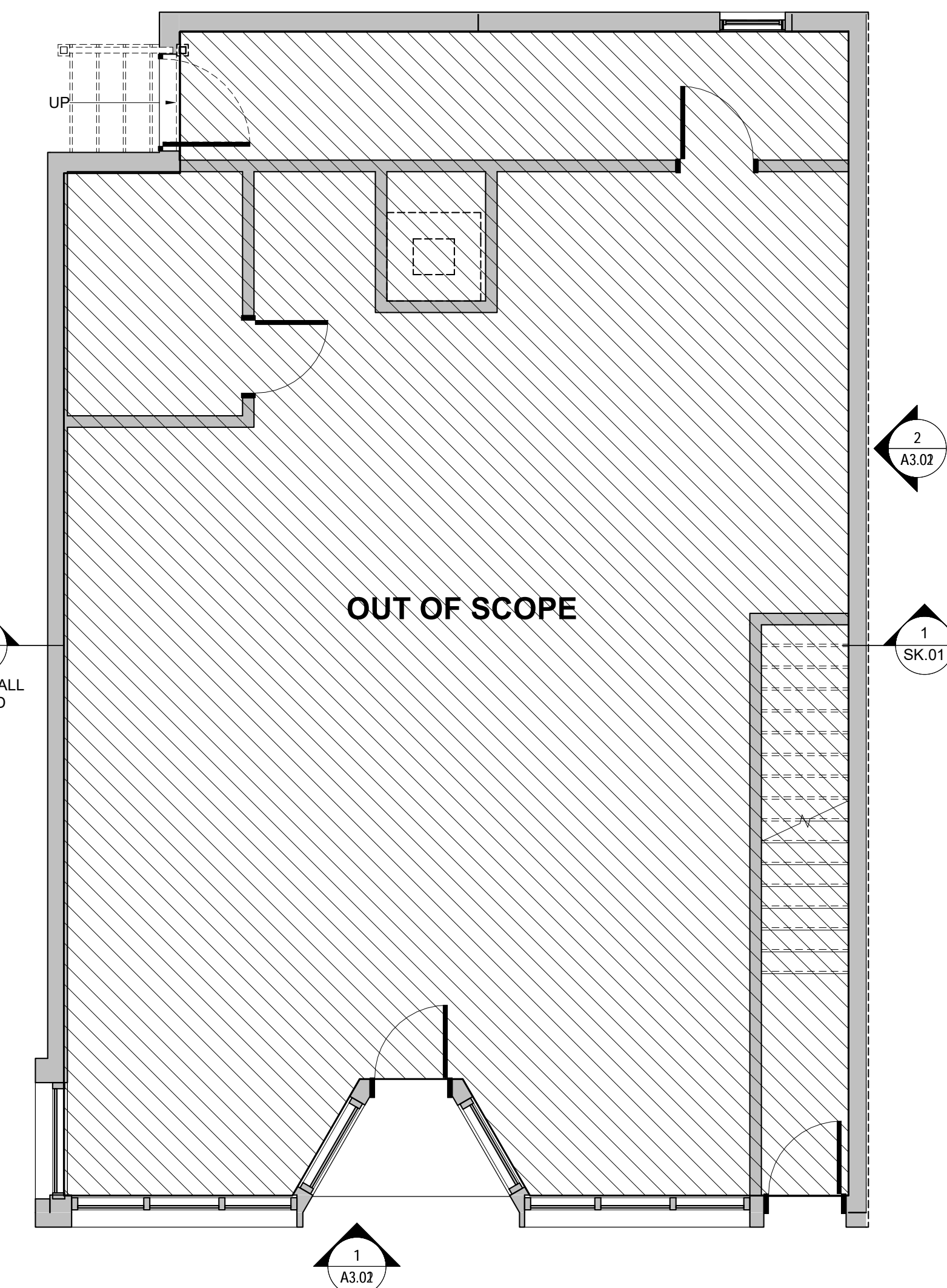
1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 EXISTING THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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ARCHITECT'S SEAL:

PROGRESS DATE: 06/19/2023

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MM
PROJECT TEAM

AE
CHECKED BY
SHEET DESCRIPTION
EXISTING & DEMOLITION
PLANS

ISSUED FOR:	
No.	Description

A1.00

SHEET NUMBER

DOB APPROVAL STAMP:

NOTE:

1. CEILINGS TO BE PAINTED TO LEVEL 3 FINISH, RECEIVE PAINT, BENJAMIN MOORE 'SUPERWHITE' FLAT UNLESS OTHERWISE NOTED.
2. ALL WALLS TO BE TAPED, SPACKLED & PAINTED AS REQUIRED TO LEVEL 3 FINISH, RECEIVE PAINT, BENJAMIN MOORE 'SUPERWHITE' FLAT WASHABLE EGGSHELL UNLESS OTHERWISE NOTED.
3. ALL DOORS TO BE PAINTED BENJAMIN MOORE 'SUPERWHITE' SEMI-GLOSS UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FINISH FACE
5. ALL NEW BEDROOM WINDOWS ARE TO MEET EGRESS REQ. PER 5:23-6.27
6. ALL EXISTING WINDOWS TO BE REPLACED WITH NEW WINDOWS SAME SIZE AND SAME LOCATION.

WALL TYPE LEGEND	
PROPOSED WALL	
EXISTING WALL	
DEMOLISHED WALL	

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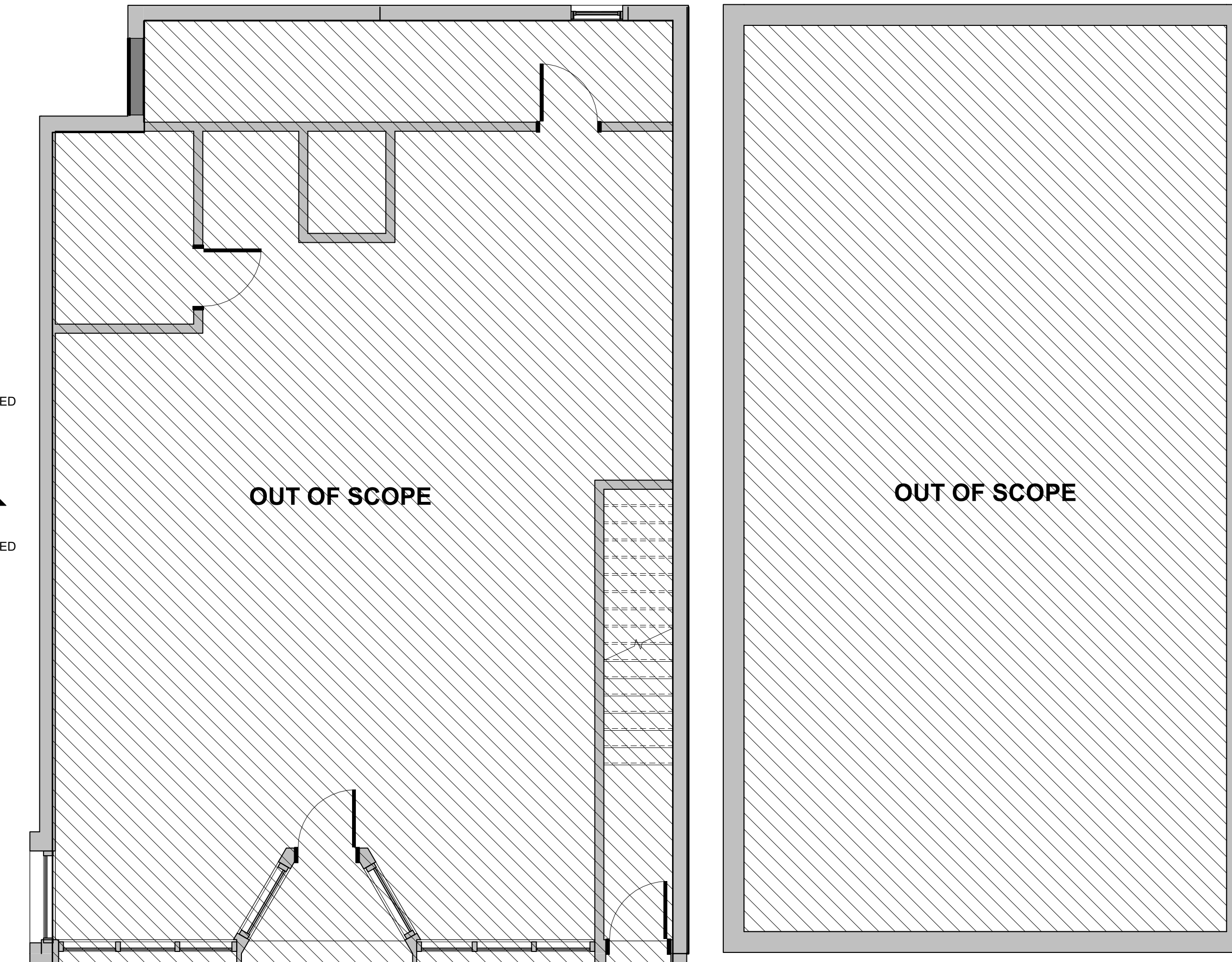
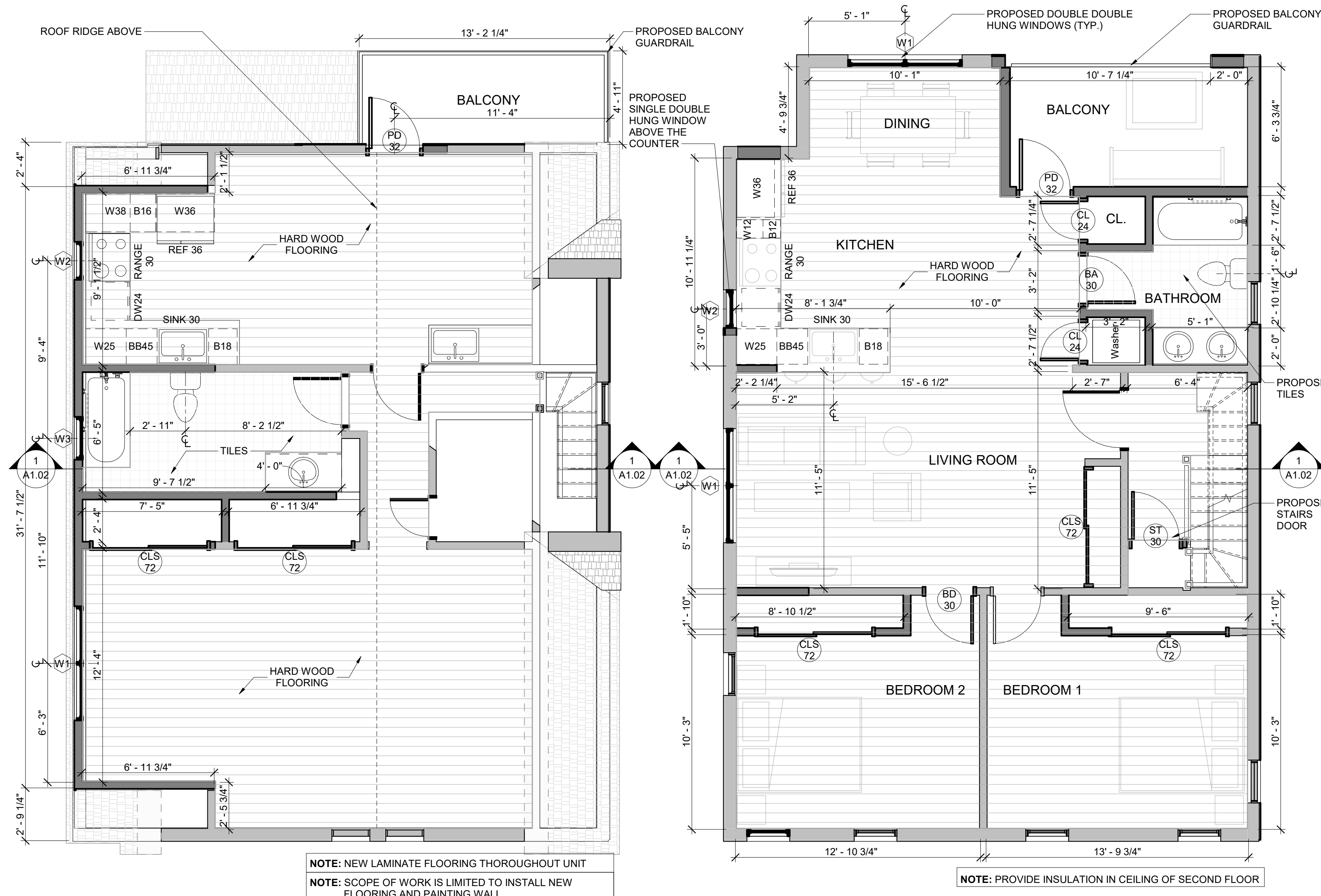
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4 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

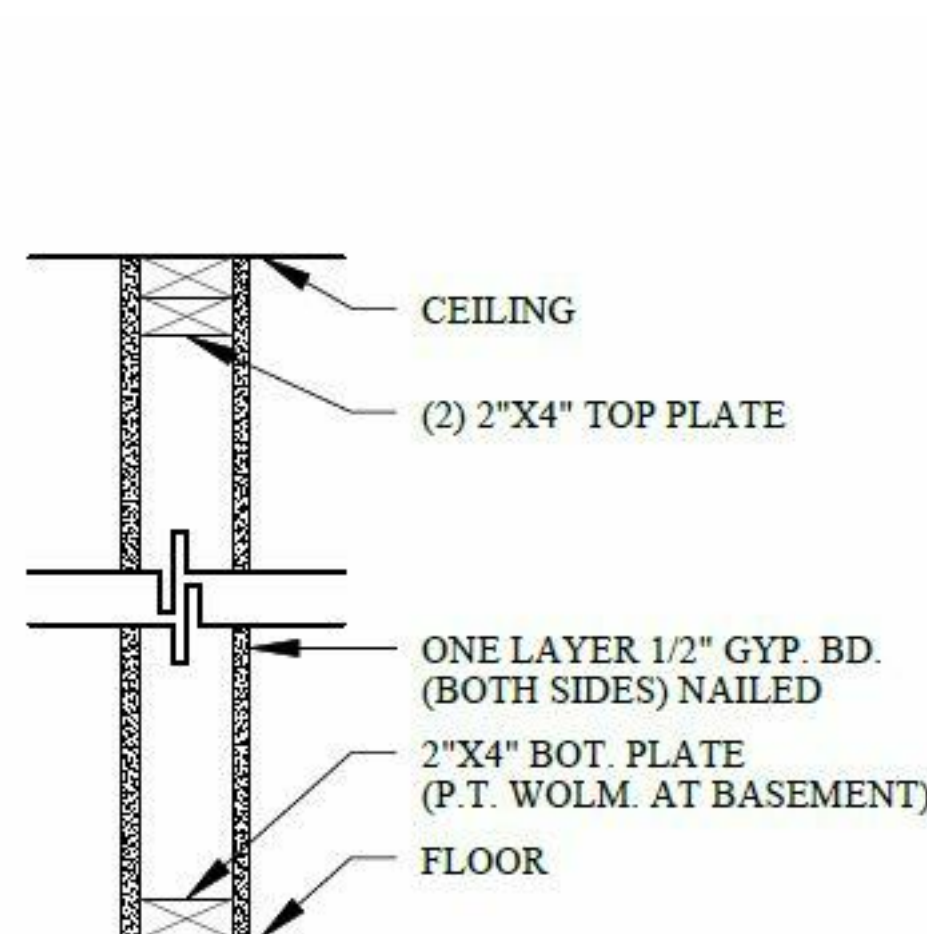
1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

UNIT DOOR AND FRAME SCHEDULE							
OPENING	DOOR	ROOM	DOOR		FRAME		MATERIAL
			WIDTH	HEIGHT	THICKNESS	MATERIAL	
BA 30	BATH		2'-6"	6'-8"	1 1/2"	WD	1 WD
BD 30	BEDROOM		2'-6"	6'-8"	1 1/2"	WD	1 WD
CL 24	CLOSET		2'-0"	6'-8"	1 1/2"	WD	1 WD
CLS 54	CLOSET		4'-6"	6'-8"	1 1/2"	WD	1 WD
CLS 72	CLOSET		6'-0"	6'-8"	1 1/2"	WD	1 WD
PD 32	BALCONY		2'-8"	6'-8"	1 3/4"	AL-GL	1 AL
ST 30	STAIRS		2'-6"	7'-0"	1 1/2"	WD	1 WD

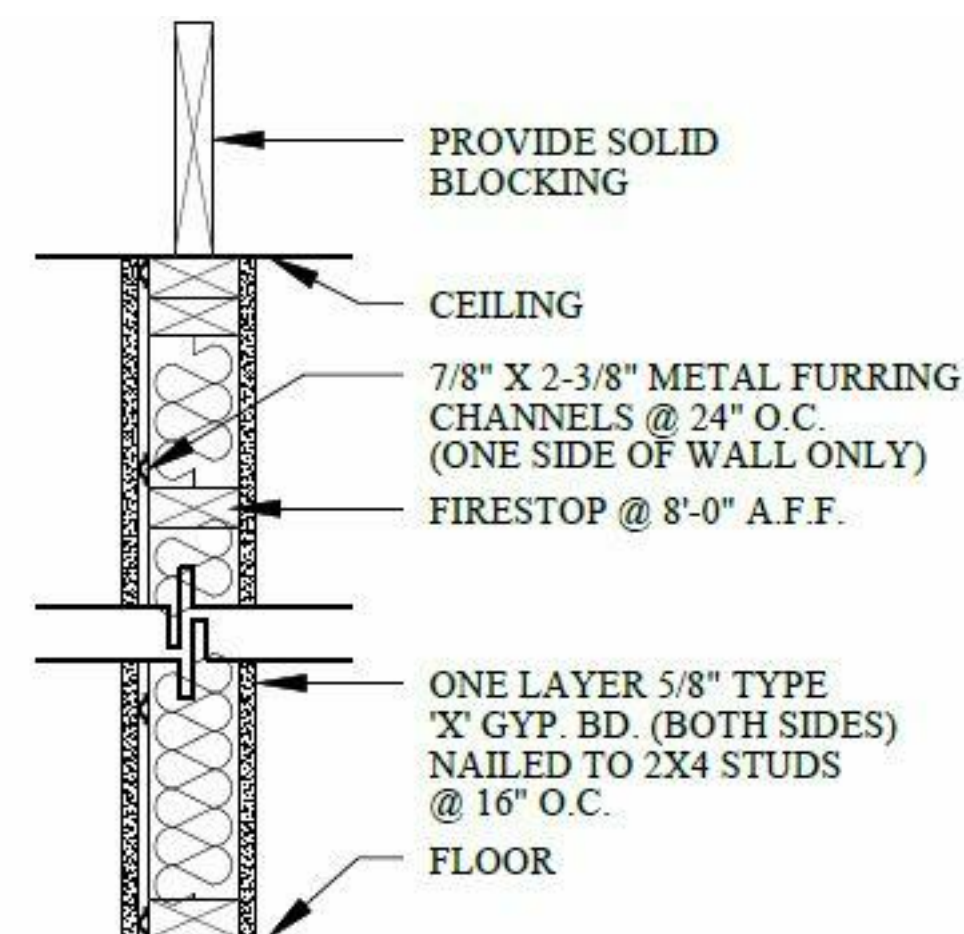
WINDOW TYPE SCHEDULE					
TAG	TYPE	WIDTH	HEIGHT	MANUFACTURER	COMMENTS
W1	DOUBLE - DOUBLE HUNG	6'-0"	5'-0"	ANDERSEN / EQUAL	LIVING/DINING+BEDROOM
W2	SINGLE - DOUBLE HUNG	2'-0"	3'-0"	ANDERSEN / EQUAL	KITCHEN
W3	SINGLE - DOUBLE HUNG	2'-3"	4'-8"	ANDERSEN / EQUAL	BEDROOM

NOTE: WINDOWS TO BE APPROVED BY ARCHITECTS

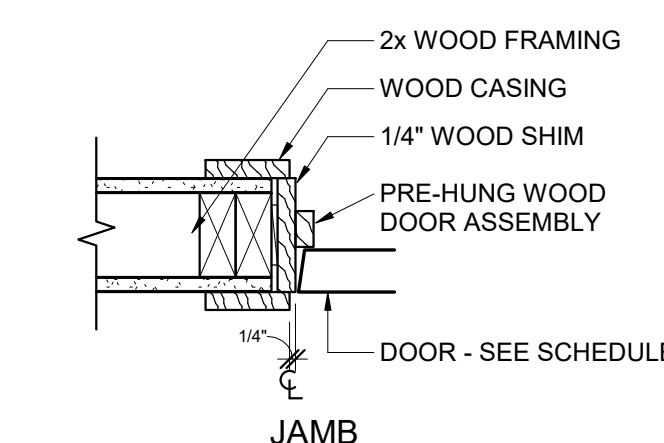
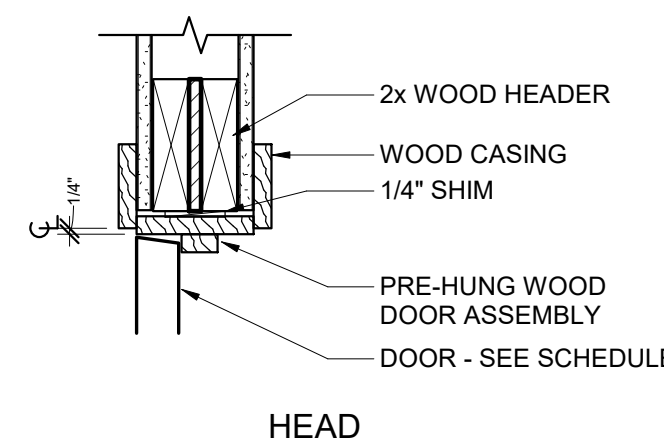
GROSS PROGRAM AREA BY LEVEL	
TYPE	FLOOR AREA
SECOND FLOOR	
COMMON	79 SF
UNIT	965 SF
	1,045 SF
THIRD FLOOR	
UNIT	867 SF
	867 SF
GRAND TOTAL	1,912 SF



NON-RATED WALL ASSEMBLY



1-HR F.R. WALL (UL DES U305) STC RATING 56



DW1

WOOD STUDS (WD FRAME)

ARCHITECT'S SEAL:

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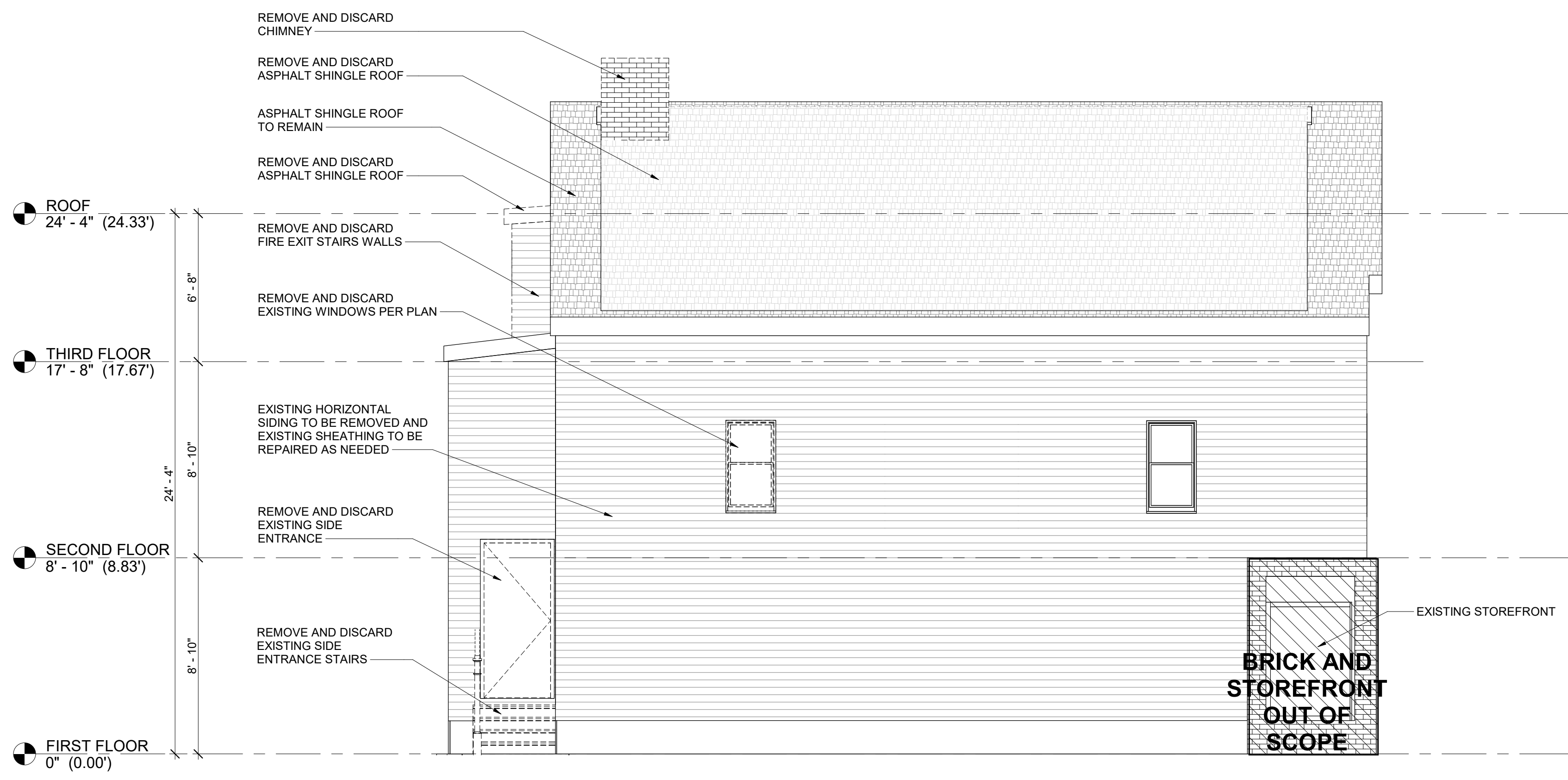
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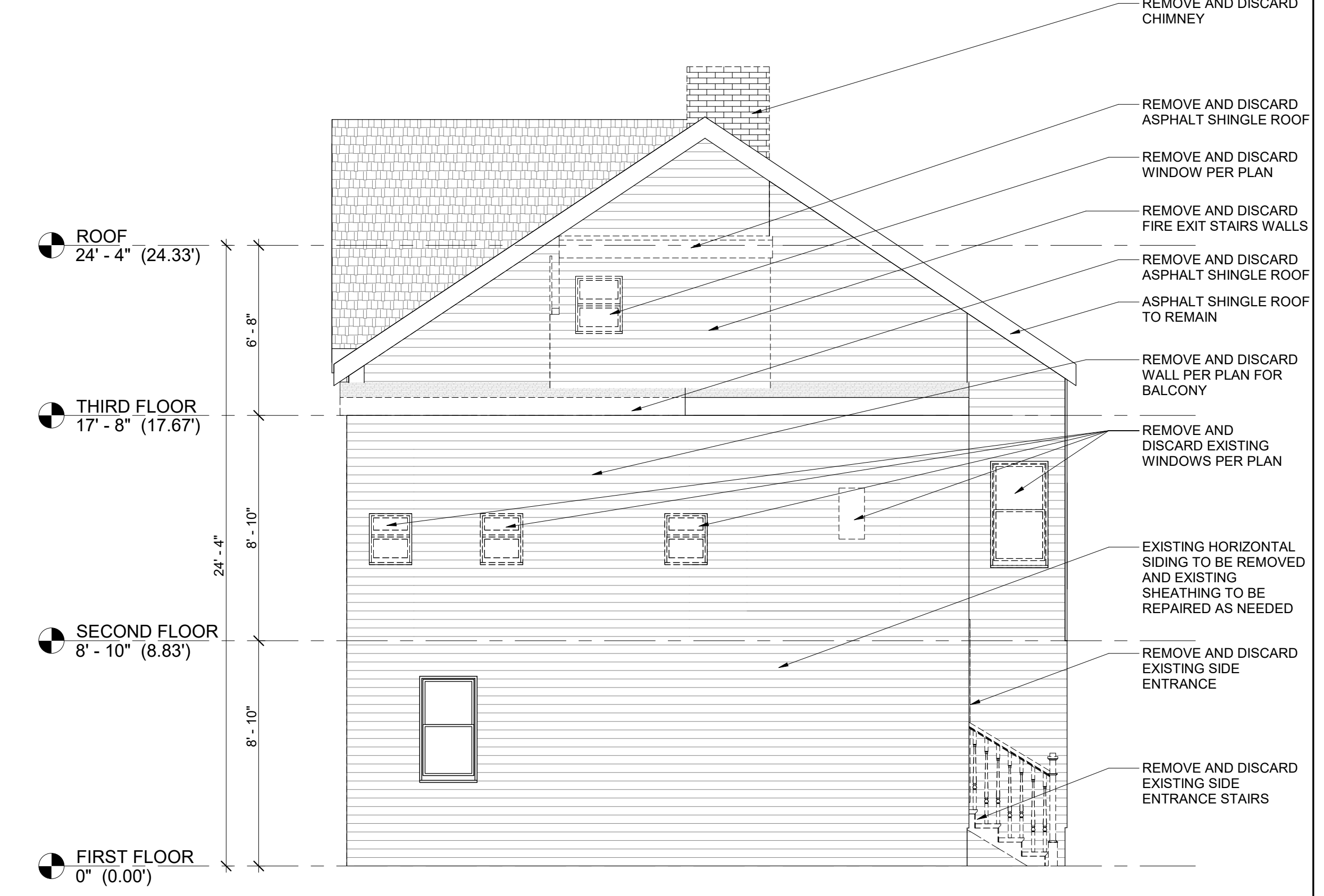
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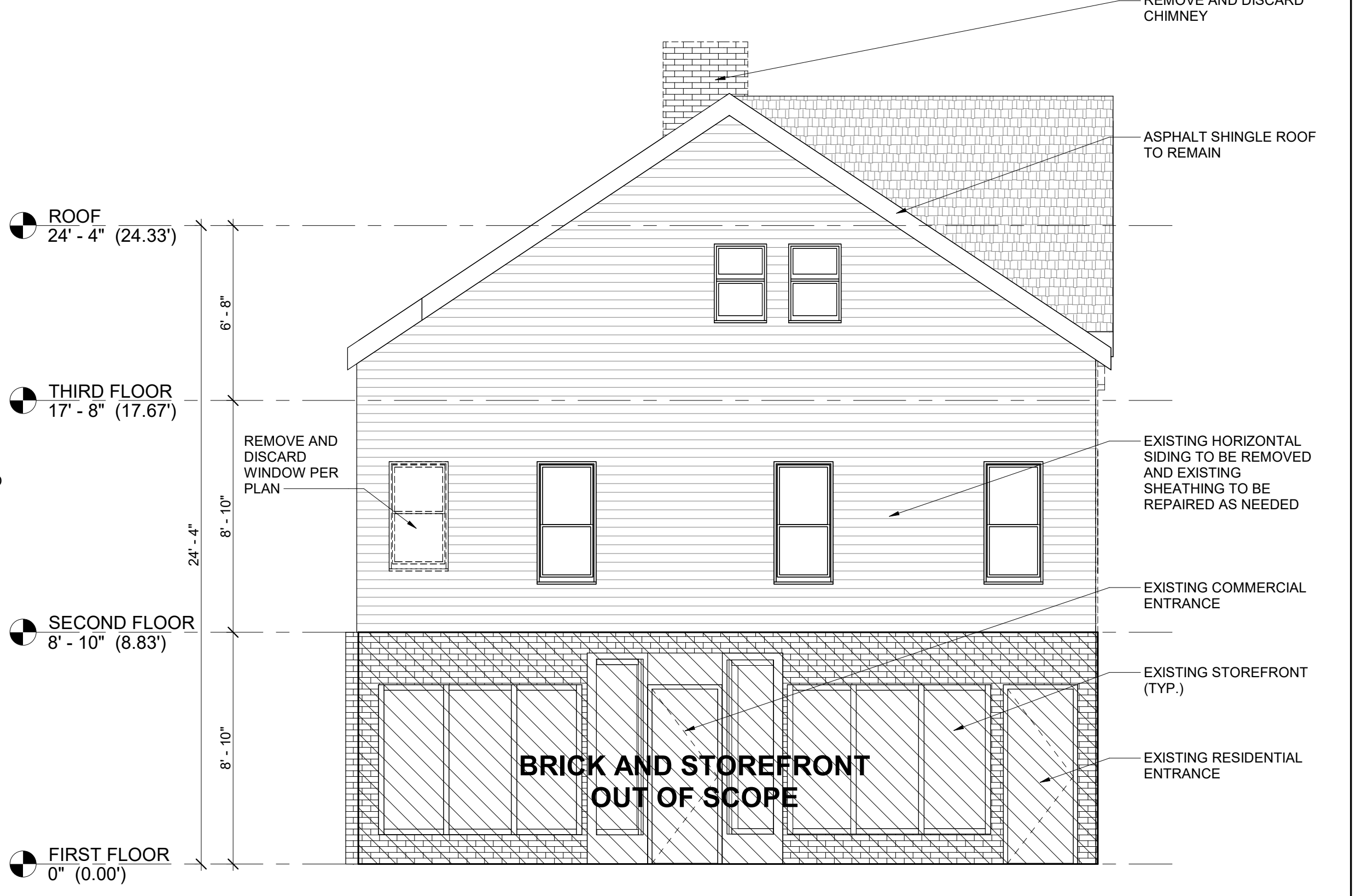
3 EXISTING TECHENOR PLACE ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING HARRISON AVE ELEVATION
SCALE: 1/4" = 1'-0"

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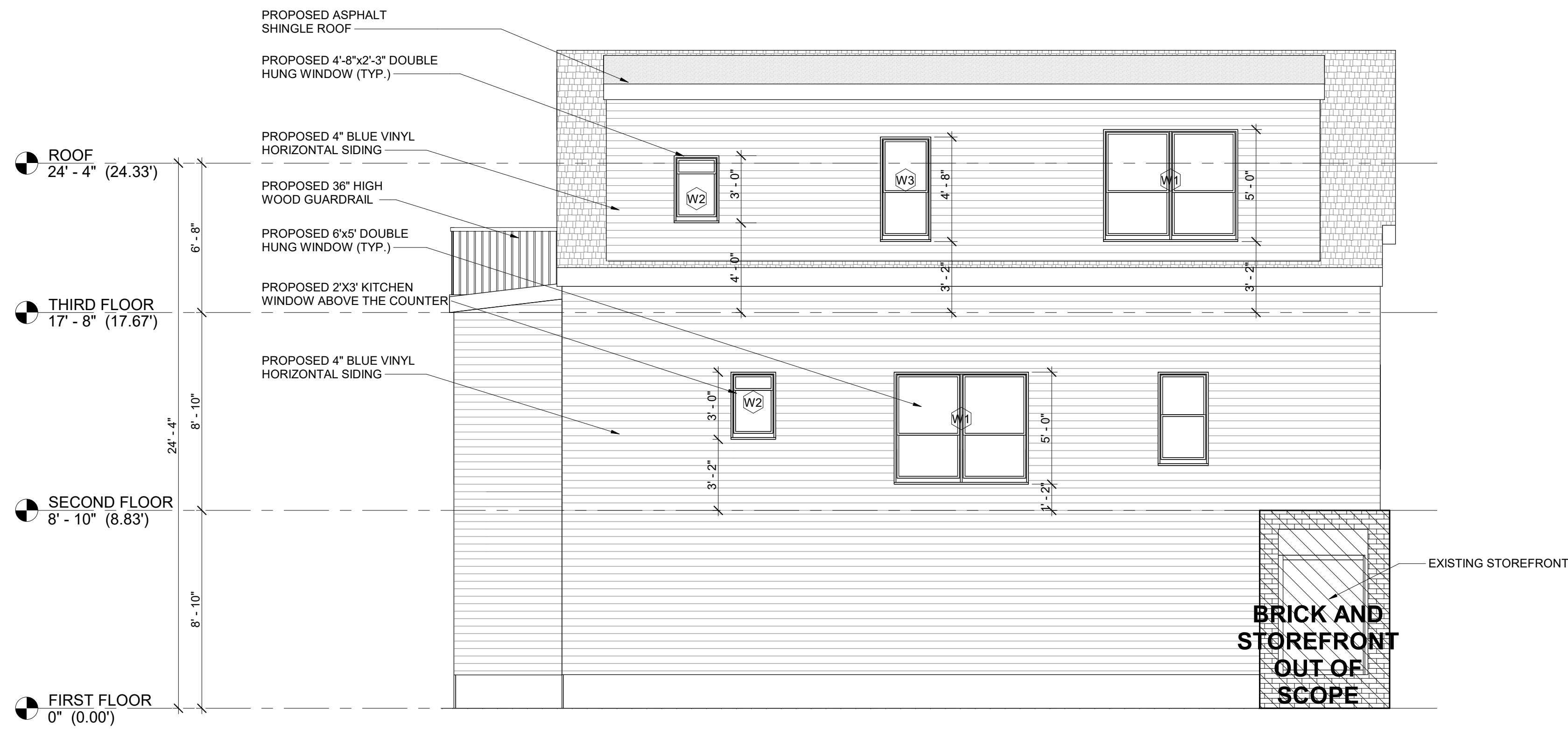
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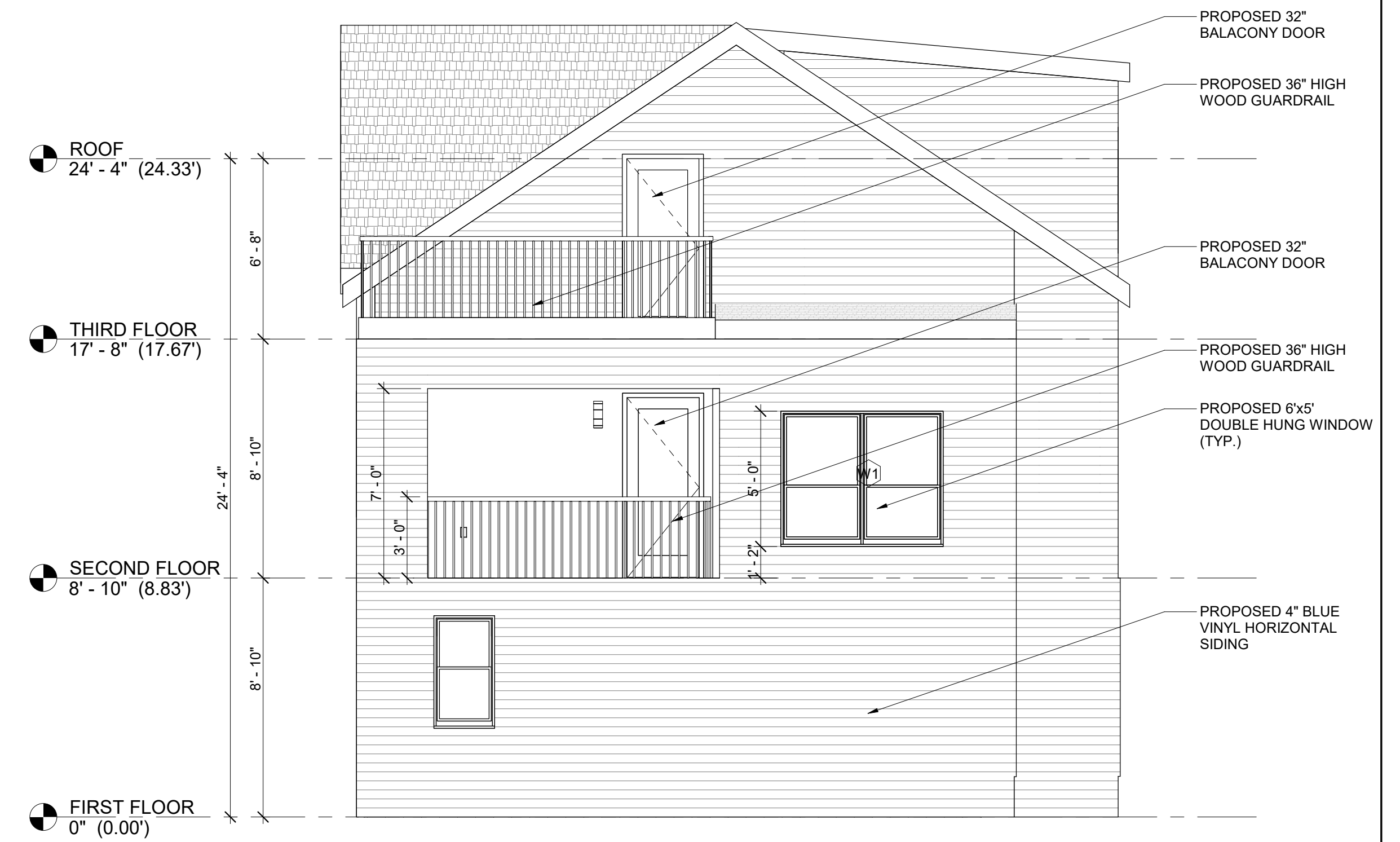
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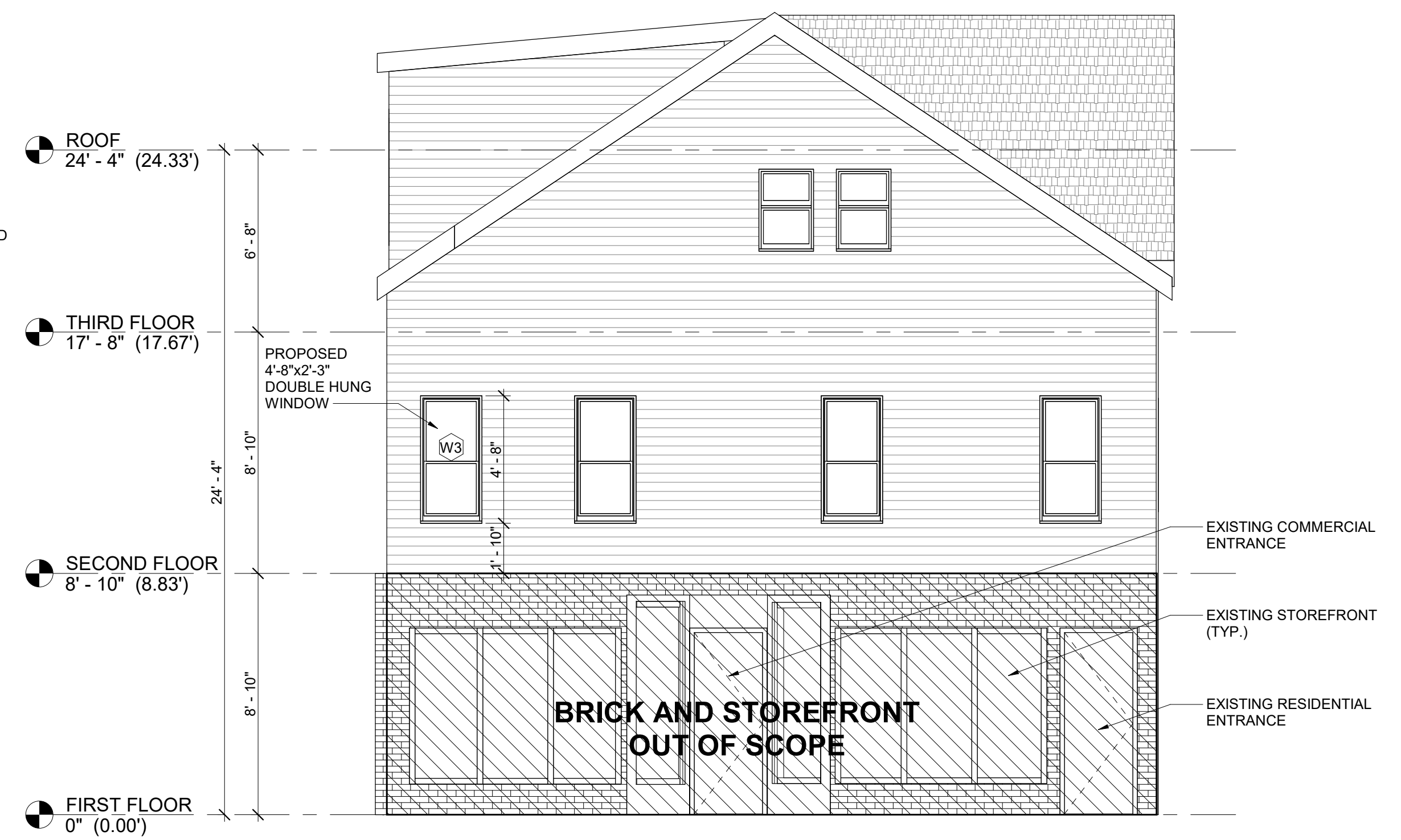
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SHEET DESCRIPTION
PROPOSED BUILDING
ELEVATIONS

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A3.02

SHEET NUMBER

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