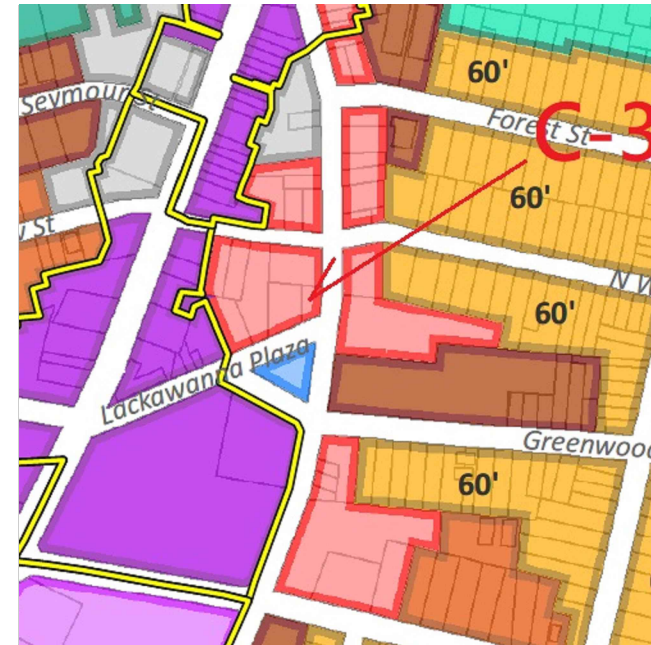


# MINOR SITE PLAN

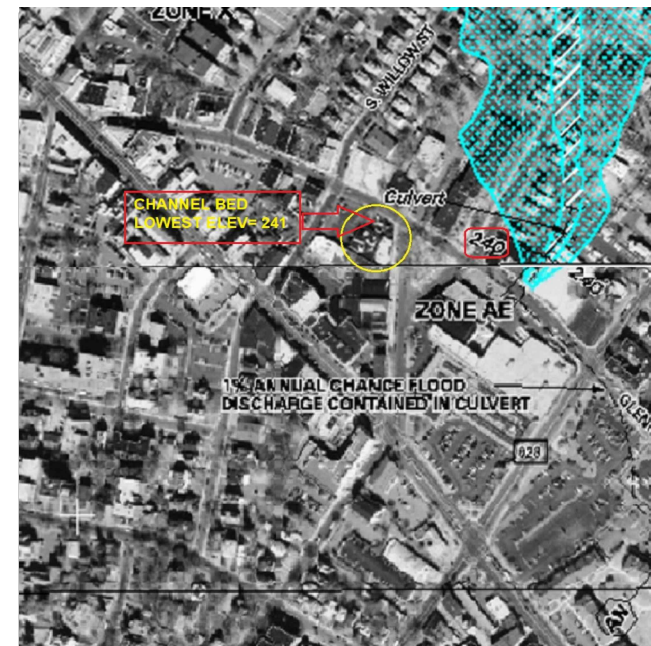
160 GLENRIDGE AVE, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY (BLOCK 3206 LOT 14)  
 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY 07042 (Block 3206 Lot 13)



ZONING MAP  
TOWNSHIP OF MONTCLAIR  
(NOT TO SCALE)



WATERWAY MAP  
NJDEP GEOWEB & COUNTY MAP  
(NOT TO SCALE)



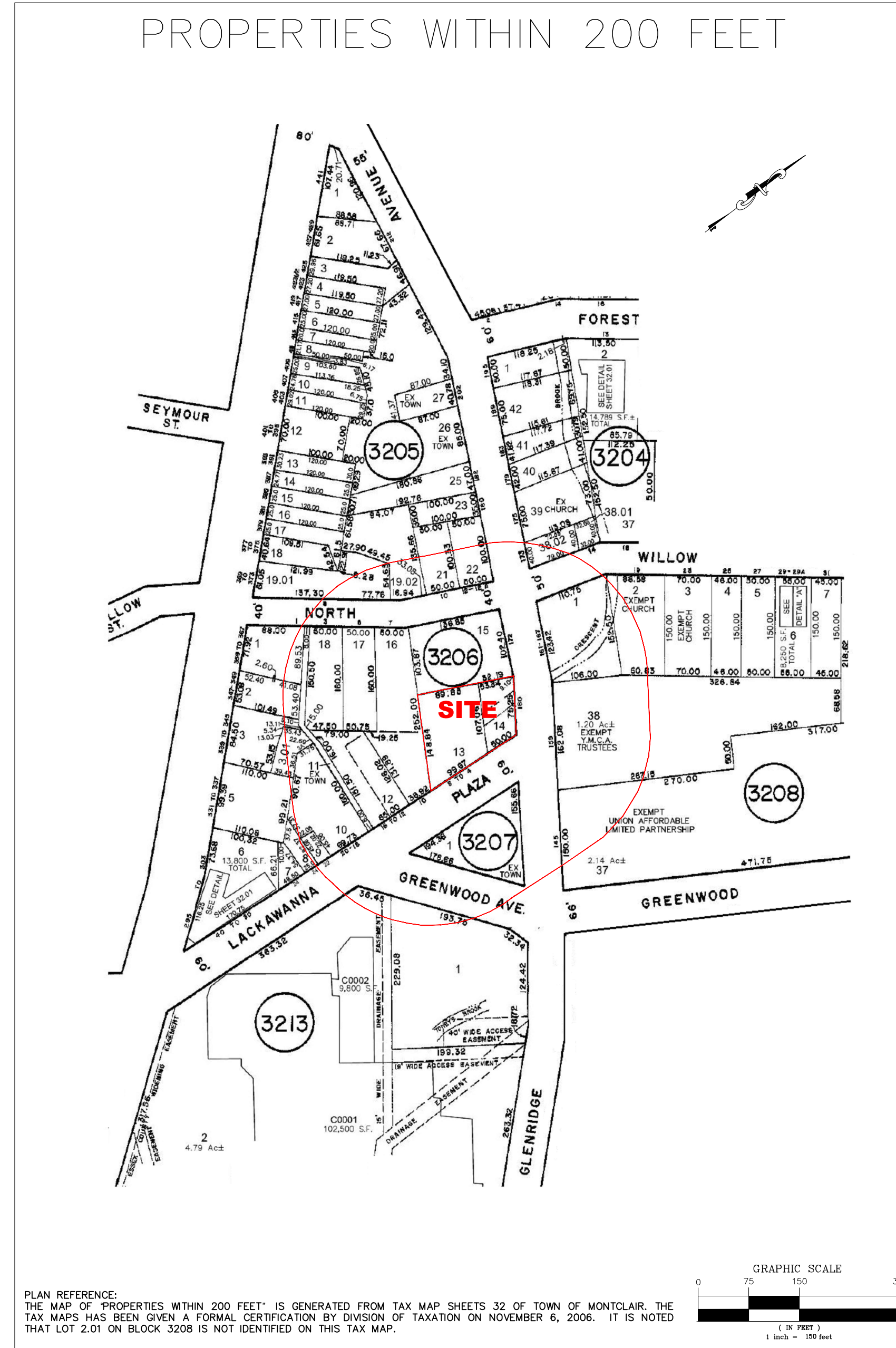
FLOOD HAZARD AREA  
FEMA MAP JUNE 4, 2007  
34013C0014F & 34013C0112F  
(NOT TO SCALE)

BLOCK	LOT	PROPERTY ADDRESS	PROPERTY OWNER	MAILING ADDRESS
3204	38.02	14 NORTH WILLOW STREET	14 NORTH WILLOW STREET LLC	17 TALBOT STREET MONTCLAIR, NJ 07042
3205	19.01	369-373 BLOOMFIELD AVENUE	MONTCLAIR PROPERTY ASSOCIATES LLC	7 NO. WILLOW ST STE 88 MONTCLAIR, NJ 07042
3205	19.02	8 NO. WILLOW STREET	ROACH'S TOWING SERVICE INC	8 NO. WILLOW ST MONTCLAIR, NJ 07042
3205	21	10 NO. WILLOW STREET	ENR ASSOC LLC	1140 COMMERCIAL AVE UNION, NJ 07083
3205	22	12 NO. WILLOW STREET	R PROPERTIES LLC	19 LASALLE RD MONTCLAIR, NJ 07042
3206	1	363-367 BLOOMFIELD AVENUE	PHOENIX PARTNERS MONTCLAIR LLC	7 NO. WILLOW ST #89 MONTCLAIR, NJ 07042
3206	2	347-349 BLOOMFIELD AVENUE	BL YARDS LLC	7 NO. WILLOW ST 88 MONTCLAIR, NJ 07042
3206	3	339-345 BLOOMFIELD AVENUE	MONTCLAIR UNICORN PARTNERS LLC	7 NO. WILLOW ST STE 88 MONTCLAIR, NJ 07042
3206	3.01	34 NO. WILLOW STREET	PRESERVATION PARTNERS LLC	7 NO. WILLOW ST #89 MONTCLAIR, NJ 07042
3206	5	331-337 BLOOMFIELD AVENUE	331 BLOOMFIELD AVE LLC / FLAX JONATHA	PO BOX 833 SUMMIT, NJ 07902
3206	8	24 LACKAWANNA PLAZA	LACKAWANNA EQUITY LLC % ATLANTIC	PO BOX 1762 MONTCLAIR, NJ 07042
3206	9	22 LACKAWANNA PLAZA	22 LACKAWANNA PLAZA	20 POINT PLEASANT RD HOPATCONG, NJ 07943
3206	10	18-20 LACKAWANNA PLAZA	LACKAWANNA EQUITY LLC % ATLANTIC	PO BOX 1762 MONTCLAIR, NJ 07042
3206	11	LACKAWANNA PLAZA	TOWNSHIP OF MONTCLAIR	205 CLAREMONT AVE MONTCLAIR, NJ 07042
3206	12	12-14 LACKAWANNA PLAZA	MONTCLAIR AUTO PROPERTIES, LLC	530 NO. MIDLAND AVE SADDLE BROOK, NJ 07663
3206	15	172 GLENRIDGE AVENUE	GLEN WILLOW PARTNERS LLC	7 NO. WILLOW ST STE 88 MONTCLAIR, NJ 07042
3206	16	7 NO. WILLOW STREET	7 NO. WILLOW ST APT 88	MONTCLAIR, NJ 07042
3206	17	NO. WILLOW STREET	LAFAYETTE SO CONSTRUCTION CO LLC	7 NO. WILLOW ST MONTCLAIR, NJ 07042
3206	18	NO. WILLOW STREET	UNION COURT LLC	7 NO. WILLOW ST STE 88 MONTCLAIR, NJ 07042
3207	1	LACKAWANNA PLAZA	TOWNSHIP OF MONTCLAIR	205 CLAREMONT AVE MONTCLAIR, NJ 07042
3208	1	161-167 GLENRIDGE AVENUE	GLENRIDGE & NO WILLOW CO INC	1360 CLIFTON AVE STE 313 CLIFTON, NJ 07012
3208	2.01	19 NO. WILLOW STREET	REDEEMER CHURCH OF MONTCLAIR	23 NO WILLOW STREET MONTCLAIR, NJ 07042
3208	37	40 GREENWOOD AVENUE	UNION AFFORDABLE LPR CRUM 1528409	11810 GRAND PARK AVE #850 NORTH BETHESDA, MD 20852
3208	38	159 GLENRIDGE AVENUE	YMCA	25 PARK ST MONTCLAIR, NJ 07042
3213	1	1 GREENWOOD AVENUE	ONE GREENWOOD LLC	76 SO. ORANGE AVE ST 102 SO. ORANGE, NJ 07079
3213	2	1 LACKAWANNA PLAZA	60P LACKAWANNA LLC	125 GLENRIDGE AVE #1347 MONTCLAIR, NJ 07042

NOTE: THE FOLLOWING IS A LIST OF ENTITIES MUST BE PROVIDED NOTICE:  
 \* ESSEX COUNTY PLANNING BOARD, 800 BLOOMFIELD AVENUE, VERONA, NJ 07044  
 \* PSE&G, MANAGER-CORPORATE PROPERTIES, 80 PARK PLAZA, T6B, NEWARK, NJ 07102  
 \* VERIZON, ONE VERIZON WAY, BASKING RIDGE, NJ 07920  
 \* COMCAST CABLE, CONSTRUCTION DEPARTMENT, 800 RAHWAY AVENUE, UNION, NJ 07083

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONDITION	NOTE
LOT 13 AREA MIN. SF	10,000	11,500	11,500	OK	MIXED USE
LOT 14 AREA MIN. SF	10,000	4,800	4,800	N/C	AUTO DEALER/SERVICE
PROPOSED LOT 13 & 14 SF	10,000	16,300	16,300	OK	MIXED USE
LOT 14 MEASUREMENTS BELOW					
LOT WIDTH MIN., FT	60	84	84	OK	-
FAÇADE DEPTH MIN., FT	20*	41	51	OK	RAZE
FRONT YARD MIN., FT	0	41	51	OK	RAZE
SIDE YARD MIN., FT	0 or 6	>6	>6	OK	RAZE
REAR YARD (PRINCIPAL) MIN., FT	10	0	>10	OK	RAZE
BUILDING HEIGHT MAX. (STORES) FT	(3) 35	(1)	(0)	OK	RAZE
GROSS FLOOR AREA (GFA) MIN., SF	N/A	205	0	OK	RAZE
LOT COVERAGE BY BLDG., %	N/A	4.28%	0%	OK	RAZE

NOTE: OK = REQUIREMENT MET, N/A = NOT APPLICABLE, N/C = NONCONFORMING USE, VAR = VARIANCE  
 \* § 347-100.5 (7) COMMERCIAL USES IN A MIXED-USE BUILDING SHALL CONTAIN NO LESS THAN 1,000 SQUARE FEET OF AREA AND SHALL MAINTAIN THE COMMERCIAL USE ALONG ALL FAÇADES OF THE BUILDING THAT FACE A STREET AT A MINIMUM DEPTH OF 20 FEET. BREAKS IN THE RETAIL FAÇADE ARE PERMITTED TO ALLOW VEHICULAR INGRESS AND EGRESS TO THE SITE.



PLAN REFERENCE:  
 THE MAP OF "PROPERTIES WITHIN 200 FEET" IS GENERATED FROM TAX MAP SHEETS 32 OF TOWN OF MONTCLAIR. THE TAX MAPS HAS BEEN GIVEN A FORMAL CERTIFICATION BY DIVISION OF TAXATION ON NOVEMBER 6, 2006. IT IS NOTED THAT LOT 2.01 ON BLOCK 3208 IS NOT IDENTIFIED ON THIS TAX MAP.

DRAWING PLAN INDEX	
SHEET NO.	CONTENT
1	COVER
2	DEMOLITION PLAN
3	SITE PLAN
4	GRADING AND DRAINAGE PLAN
5	LANDSCAPE AND CIRCULATION PLAN
6	LIGHTING PLAN
7	CONSTRUCTION DETAILS
(1 OF 2)	NJDEP APPROVED SITE PLAN
(2 OF 2)	NJDEP APPROVED CONSTRUCTION PLAN
[1 OF 1]	SURVEY

NOTE:

SITE: 160 GLENRIDGE AVE AND 4 LACKAWANNA PLAZA,  
 MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY  
 TAX ID: BLOCK 3206 LOTS 14 & 13 (PROPOSED BLOCK 3206 LOT 13A)

OWNER/APPLICANT: JOHN'S AUTOMOTIVE, INC.

PROJECT: SITE IMPROVEMENT  
 PROJECT ID: 160G  
 LOT 14: CHANNEL MODIFICATION, PARKING LOT, DRIVEWAY, APRON, PROPERTY WALLS AND GATES.  
 LOT 13: WALL REPAIR, WALL AND PARAPET FINISH, GARAGE DOOR AND SALES OFFICE.

- LOT 14 SITE IS 160 GLENRIDGE AVENUE, MONTCLAIR, ESSEX COUNTY, NJ 07042. THE SITE WILL CONTINUE TO BE UTILIZED AS A USED MOTOR VEHICLE DEALER IN ACCORDANCE WITH THE PROVISION OF N.J.S.A. 39: 10-19.
- LOT 13 SITE IS 4 LACKAWANNA PLAZA, MONTCLAIR, ESSEX COUNTY, NJ 07042. THE LOT WILL CONTINUE TO BE UTILIZED AS A GARAGE OF AUTOMOTIVE SERVICES AND RETAILS OF PERMITTED USES.
- NJDEP: AN APPROVAL FROM NJDEP FOR CHANNEL MODIFICATION WAS OBTAINED ON JANUARY 19, 2020. THE APPROVED PERMIT NUMBER IS 0713-19-0002.1-LUP190001.
- SOIL CONSERVATION DISTRICT: SOIL DISTURBANCE WILL BE LIMITED UNDER 5,000 SF. A PERMIT FROM THE SOIL CONSERVATION DISTRICT MAY BE WAIVED.
- MONTCLAIR TOWNSHIP: AS PER ORDINANCE §281-1B, MINOR SITE PLAN APPLICATION APPROVAL IS REQUIRED FOR ERECTION OF LANDSCAPING WALLS ALONG PROPERTY BOUNDARY, DRIVEWAY APRON AND SIDEWALK WORKS AT THE SIDE OF GLENRIDGE AVE MAY BE APPROVED UNDER THE SAME APPLICATION.

PROJECT DESCRIPTION

- THE PROPOSED PRIMARY ACTIVITIES FOR THE PROJECT INVOLVE MULTIPLE CHANGES TO LOT 14 AND LOT 13 ON BLOCK 3206 FOR SITE IMPROVEMENT ALTERNATION AND CHANNEL MODIFICATION AND CONTINUING THE EXISTING USE.
- ON LOT 14 (160 GLENRIDGE), THE PLAN IS TO EXPAND THE EXISTING PARKING LOTS OVER THE EXISTING OPEN CHANNEL, REMOVE AN EXISTING PYLON SIGN AND SALES OFFICE, AND RELOCATE THE SALES OFFICE TO THE ADJACENT BUILDING ON LOT 13. GROUND SURFACE WILL BE GRADED, COMPACTED, AND PAVED WITH ASPHALT.
- THE DRIVEWAY APRON FROM LACKAWANNA PLAZA WILL REMAIN, AND A NEW DRIVEWAY APRON FROM GLENRIDGE AVENUE IS PROPOSED. A NEW LANDSCAPING WALL WILL BE CONSTRUCTED TO ENHANCE PUBLIC PEDESTRIAN SAFETY. THE LOT IS USED FOR VEHICLE STORAGE AND THERE ARE NO PUBLIC PARKING SPACES.
- ON LOT 13 (4 LACKAWANNA), THE EXISTING TUNNEL DRIVEWAY WILL BE CONVERTED INTO AN OFFICE THAT WILL REPLACE THE CURRENT OFFICE ON LOT 14. AN OVERHEAD GARAGE DOOR WILL BE ADDED ON THE SIDE OF GLENRIDGE AVE, WHILE THE TWO CURRENT WALL SIGNS WILL REMAIN UNALTERED.
- THE EXTERIOR MASONRY WALL WILL BE REPAIRED, AND WILL RECEIVE A DISTRESSED CONCRETE STUCCO FINISH COMPLEMENTED BY BRICK VENEER ACCENTS ON THE PARAPET. THE WALL FAÇADE, SURFACE AND THE LANDSCAPING WALL WILL AESTHETICALLY BLEND WITH THE SURROUNDING ENVIRONMENT.
- THE BUSINESS IS OPEN FROM 8AM TO 5PM, MONDAY THROUGH FRIDAY, AND FROM 8AM TO 1PM ON SATURDAY. IT REMAINS CLOSED ON SUNDAY. THE NUMBER OF EMPLOYEES WILL REMAIN UNCHANGED FOLLOWING THE COMPLETION OF SITE IMPROVEMENTS.

PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

RENDERING IMAGE NOTE:  
 THE PURPOSE OF THE RENDERING IMAGE PROVIDED ON THIS SHEET IS TO SERVE AS A SUPPLEMENTARY VISUAL TOOL, AIDING IN THE VISUALIZATION OF THE OVERALL CONCEPT AND POTENTIAL DESIGN OPTIONS. IT IS ESSENTIAL TO UNDERSTAND THAT THIS IMAGE IS NOT INTENDED TO OFFER PRECISE MEASUREMENTS OR SPECIFIC DETAILS. TO OBTAIN ACCURATE INFORMATION AND GAIN A COMPREHENSIVE UNDERSTANDING, PLEASE CONSULT THE ACCOMPANYING SITE PLAN, WHICH INCLUDES THE NECESSARY MEASUREMENTS, SPECIFICATIONS, AND OTHER PERTINENT INFORMATION.

CONTRACTOR NOTE:  
 1. THIS DRAWING PLAN SET IS INTENDED ONLY FOR PERMITTING PURPOSE AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT UNTIL THE PLAN IS APPROVED FOR THAT PURPOSE.  
 2. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF APPLICABLE AUTHORITIES. NEW JERSEY LAW REQUIRES ANYONE DIGGING TO CONTACT "NJ ONE CALL" AT LEAST THREE FULL BUSINESS DAYS PRIOR BEGINNING WORK. DO NOT SCALE DRAWING, AND ALL DIMENSIONS MUST BE FIELD VERIFIED.  
 3. THE PROFESSIONAL ACTIVITIES OR ON-SITE PRESENCE OF SHOEN ENGINEERING LLC AND ITS EMPLOYEES, ASSOCIATES AND REPRESENTATIVES SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES AND PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS IN EFFECT AND ANY HEALTH-AND-SAFETY PRECAUTIONS REQUIRED BY APPLICABLE REGULATORY AGENCIES. THE ENGINEER HAS NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OF ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH-AND-SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. THE ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER GENERAL CONTRACTOR'S GENERAL LIABILITY INSURANCE POLICY.

THIS PLAN SET IS FOR PERMITTING AND CONSTRUCTION

CERTIFICATE OF AUTHORIZATION: 246A28216800

TITLE: COVER SHEET

PROJECT: 160 GLENRIDGE AVE. & 4 LACKAWANNA PLAZA  
 MONTCLAIR, ESSEX COUNTY, NEW JERSEY 07042  
 BLOCK 3206 LOT 14 AND 13

JOB NO: 160G DATE: 03/26/2023

SCALE: 1"=150'

DESIGN BY: VJK  
 CHECKED BY: JTK  
 DRAWN BY: JTK

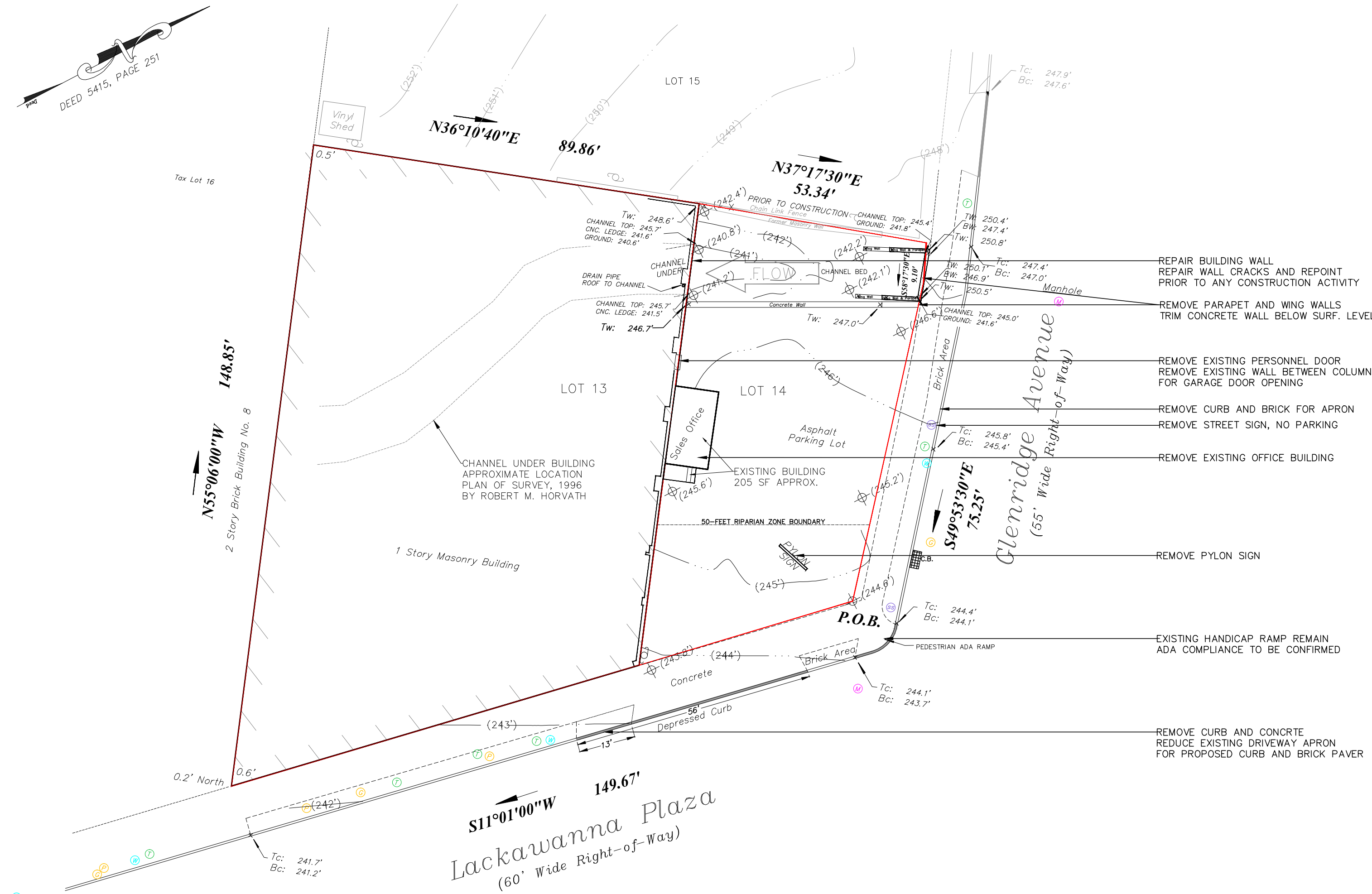
PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 24628216800  
 PENNSYLVANIA LICENSE NO. PE028420  
 CONNECTICUT LICENSE NO. PE04000006

FILE: 160GLENRIDGE12 REV: 9/28/2023

1 OF 7

# MINOR SITE PLAN

160 GLENRIDGE AVE, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY (BLOCK 3026 LOT 14)  
 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY 07042 (Block 3206 Lot 13)



**Legend:**

- = Manhole
- = Street Sign
- = Utility Pole
- ☆ = Light Post
- = Tree
- = Water Box
- = Gas Box
- = Sanitary Clean-out
- = Parking Meter
- ⊗ = Auto Sprinkler
- = Water Line
- = Gas Line
- = Electric Line
- = Telephone Line
- Tc = Top of Curb
- Bc = Bottom of Curb
- Tw = Top of Wall
- Bw = Bottom of Wall
- = Chain Link Fence
- = Wood/Vinyl Fence
- x = Spot Elevation (NAVD 88)

**GENERAL NOTES:**

SITE: 160 GLENRIDGE AVE, AND 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY  
 TAX ID: BLOCK 3206 LOTS 14 & 13  
 OWNER/APPLICANT: JOHN'S AUTOMOTIVE, INC.

- THIS SITE PLAN IS BASED ON A SURVEY MAP PREPARED BY BEHAR SURVEYING ASSOCIATES PC, DATED APRIL 13 2015 AND ADDENDUM ON JANUARY 2023. APPROXIMATE LOCATION OF CHANNEL UNDER BUILDING IS BASED ON A SURVEY PREPARED BY ROBERT M. HORVATH ON MARCH 20, 1996. AS-BUILT PLAN SHALL BE PROVIDED BY CONTRACTOR.
- THE PROPOSED CHANNEL MODIFICATION ON SITE HAS BEEN APPROVED BY THE NJDEP ON JANUARY 29, 2020.
- CONCRETE DESIGNS AND CONSTRUCTION SHALL MEET ASTM C1504, ASTM C1786 HL-93, AASHTO HS20 AND/OR NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- MEASUREMENTS  
ALL MEASUREMENTS HAVE TO BE FIELD VERIFIED. DO NOT SCALE DRAWINGS.
- FIELD MARKOUTS  
NEW JERSEY LAW REQUIRES ANYONE DIGGING TO CONTACT "NJ ONE CALL" AT LEAST THREE FULL BUSINESS DAYS (NOT COUNTING WEEKENDS OR HOLIDAYS) PRIOR TO BEGINNING WORK.
- CONSTRUCTION  
ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE TOWNSHIP OF MONTCLAIR, THE BUILDING DEPARTMENT AND APPLICABLE AUTHORITIES. THE EXTERIOR WALL CRACKS, BUILDING STRUCTURE, CHANNEL CONCRETE LEDGE AND CHANNEL GIRDER BEAM SHALL BE INSPECTED AND REPAIRED BY QUALIFIED PROFESSIONALS PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONSTRUCTION DEBRIS SHALL NOT BLOCK CHANNEL FLOW.
- CHANNEL WORK  
WORK SHALL BE PERFORMED WHILE THE CHANNEL IS DRY. THE CHANNEL IS EPHEMERAL AND DRY IN CERTAIN PERIODS OF THE YEAR. IT IS MOST IMPORTANT TO VERIFY THE DRY SEASONS FOR CONSTRUCTION; NEVERTHELESS, THE MOST LIKELY DRY SEASON IS ANTICIPATED TO BE FROM NOVEMBER THROUGH MARCH AND MAY BE POSSIBLE IN JUNE. PRIOR TO CONSTRUCTION ACTIVITIES, UPSTREAM FLOOD MONITORING STATIONS WITH ALARM SYSTEMS SHALL BE ESTABLISHED TO ENSURE WORKER SAFETY. CHANNEL WORK MUST COMPLY TO NJDEP SPECIAL CONDITIONS OF PERMIT NUMBER 0713-19-0002.1-LUP190001.

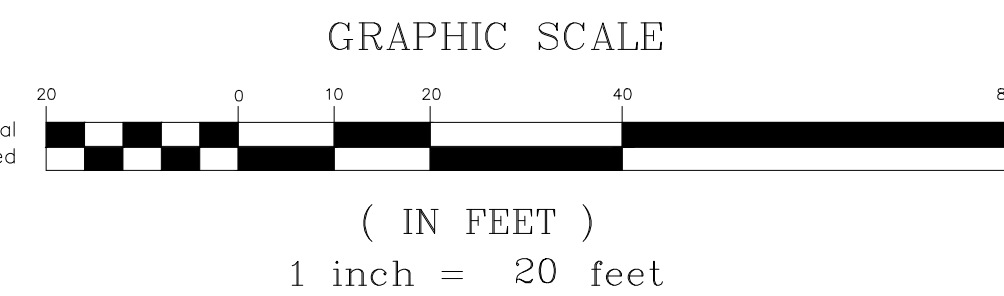
**DEMOLITION NOTES:**

- REMOVE CHANNEL PARAPET ON THE SIDEWALK.
- REMOVE CHANNEL WING WALLS.
- REMOVE/TRIM THE TOP OF THE CONCRETE CHANNEL WALL TO BELOW SURFACE LEVEL.
- REMOVE AN EXISTING PERSONNEL DOOR FRAME.
- REMOVE EXISTING WALL BETWEEN DESIGNATED COLUMNS FOR THE PROPOSED GARAGE DOOR OPENING. TEMPORARY SUPPORTS AND HEADER BEAMS SHALL BE PROVIDED.
- REMOVE CURB AND BRICK FOR THE PROPOSED APRON ON GLENRIDGE AVENUE.
- REMOVE AN EXISTING NO PARKING STREET SIGN.
- REMOVE AN EXISTING OFFICE BUILDING.
- REMOVE AN EXISTING PYLON SIGN.
- RECONSTRUCT EXISTING ADA CORNER CURB RAMP, IF REQUIRED.
- REMOVE CURB AND CONCRETE FOR THE PROPOSED CURB AND BRICK PAVERS. REDUCE THE EXISTING DRIVEWAY APRON ON LACKAWANNA PLAZA.

PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

**CONTRACTOR NOTE:**

- THIS DRAWING PLAN SET IS INTENDED ONLY FOR PERMITTING PURPOSE AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT UNTIL THE PLAN IS APPROVED FOR THAT PURPOSE.
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF APPLICABLE AUTHORITIES. NEW JERSEY LAW REQUIRES ANYONE DIGGING TO CONTACT "NJ ONE CALL" AT LEAST THREE FULL BUSINESS DAYS PRIOR BEGINNING WORK. DO NOT SCALE DRAWING, AND ALL DIMENSIONS MUST BE FIELD VERIFIED.
- THE PROFESSIONAL ACTIVITIES OR ON-SITE PRESENCE OF SHOEN ENGINEERING LLC AND ITS EMPLOYEES, ASSOCIATES AND REPRESENTATIVES SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES AND PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS IN EFFECT AND ANY HEALTH-AND-SAFETY PRECAUTIONS REQUIRED BY APPLICABLE REGULATORY AGENCIES. THE ENGINEER HAS NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OF ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH-AND-SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. THE ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER GENERAL CONTRACTOR'S GENERAL LIABILITY INSURANCE POLICY.

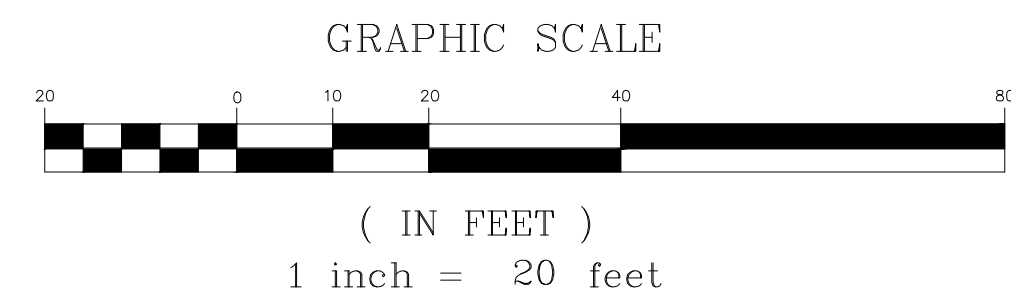
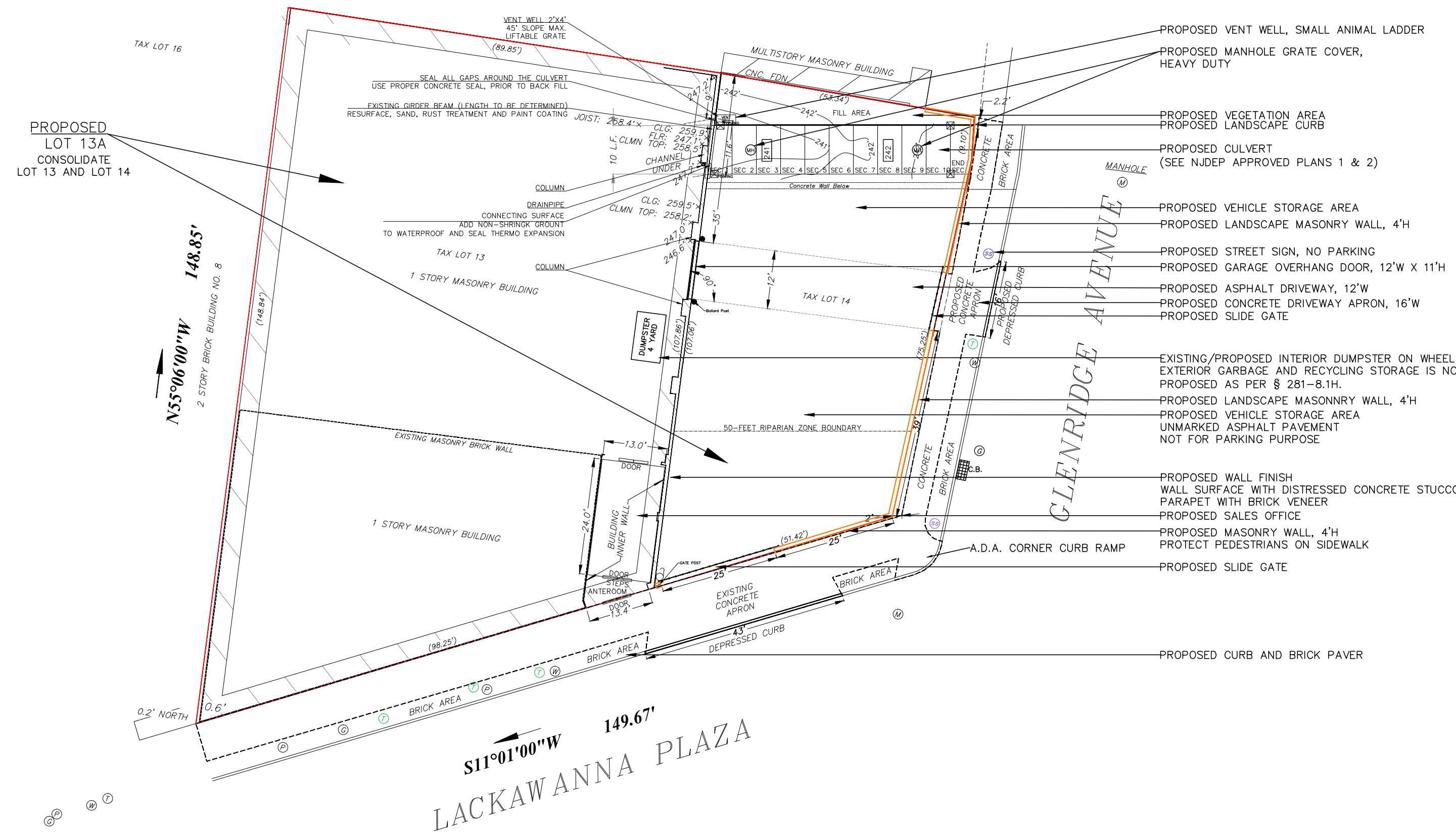
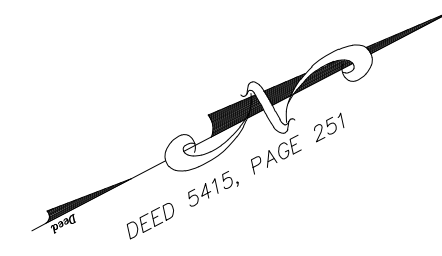


Datum Note: The vertical datum is consistent with North American Vertical Datum of 1988 (NAVD 1988). The horizontal datum is based on an assumed positioning system and the north direction is consistent with a deed.

<p>THIS PLAN SET IS FOR PERMITTING AND CONSTRUCTION</p> <p>CERTIFICATE OF AUTHORIZATION: 24G28216800</p>	
<p>TITLE: DEMOLITION PLAN</p>	
<p>PROJECT: 160 GLENRIDGE AVE. &amp; 4 LACKAWANNA PLAZA MONTCLAIR, ESSEX COUNTY, NEW JERSEY 07042 BLOCK 3206 LOT 14 AND 13</p>	
<p>JOB NO: 160G</p>	<p>DATE: 03/26/2023</p>
<p>DRAN BY: VJK</p>	<p>SCALE: 1"=20'</p>
<p>DESIGN BY: JTK</p>	<p>SHEET No: 2</p>
<p>CHECKED BY: JTK</p>	<p>of 7</p>
<p>NOTE 1:</p> <p>NOTE 2:</p>	<p>FILE: 160GLENRIDGEAVE12</p> <p>REV: 9/28/2023</p>
<p><b>JAMES T. KIN</b></p> <p>PROFESSIONAL ENGINEER</p> <p>NEW JERSEY LICENSE NO. 24628216800              PENNSYLVANIA LICENSE NO. 24628216800              CONNECTICUT LICENSE NO. PEN0593836</p>	<p>• CIVIL              • HYDRAULIC              • ENVIRONMENTAL              • INSPECTION              • CONSTRUCTION              • REMEDIATION</p>

# MINOR SITE PLAN

160 GLENRIDGE AVE, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY (BLOCK 3026 LOT 14)  
 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY 07042 (Block 3206 Lot 13)



**NOTES:**


- SITE: 160 GLENRIDGE AVE AND 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY  
 TAX ID: BLOCK 3206 LOTS 14 & 13 (PROPOSED LOT 13A)  
 OWNER/APPLICANT: JOHN'S AUTOMOTIVE, INC.
- THIS SITE PLAN IS BASED ON A SURVEY MAP PREPARED BY BEHAR SURVEYING ASSOCIATES PC, DATED APRIL 13 2015 AND ADDENDUM ON JANUARY 2023. APPROXIMATE LOCATION OF CHANNEL UNDER BUILDING IS BASED ON A SURVEY PREPARED BY ROBERT M. HORVATH ON MARCH 20, 1996. AS-BUILT PLAN SHALL BE PROVIDED BY CONTRACTOR.
  - LOTS 13 AND 14 ARE PROPOSED TO BE CONSOLIDATED INTO ONE LOT 13A.
  - CHANNEL MODIFICATION WORKS MUST COMPLY TO SITE PLANS AND SPECIAL CONDITIONS APPROVED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP), PERMIT NUMBER 0713-19-0002.1 - LUP 190001, DATED JANUARY 29, 2020. THE WORKS SHALL BE PERFORMED WHILE THE CHANNEL IS DRY. THE CHANNEL IS EPHEMERAL AND DRY IN CERTAIN PERIODS OF THE YEAR. IT IS MOST IMPORTANT TO VERIFY THE DRY SEASONS FOR CONSTRUCTION; NEVERTHELESS, THE MOST LIKELY DRY SEASON IS ANTICIPATED TO BE FROM NOVEMBER THROUGH MARCH. PRIOR TO CONSTRUCTION ACTIVITIES, UPSTREAM FLOOD MONITORING STATIONS WITH ALARM SYSTEMS SHALL BE ESTABLISHED TO ENSURE WORKER SAFETY.
  - BACKFILL THE SUBGRADE UNDER VEGETATION AREA COMPLETELY WITH REDUCED CONCRETE DEBRIS AND/OR GRAVEL, ENSURE NO GAP AND VOID FOR FUTURE SETTLEMENT, FILL WITH GRAVEL LAYER TO DESIGN ELEVATION, FILL A SAND LAYER WITH COMPACTION, AND FILL WITH A SOIL BED MIXTURE LAYER.
  - CONSTRUCTION ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE TOWNSHIP OF MONTCLAIR, THE BUILDING DEPARTMENT AND APPLICABLE AUTHORITIES. THE EXTERIOR WALL CRACKS, BUILDING STRUCTURE, CHANNEL CONCRETE LEDGE AND CHANNEL GIRDER BEAM SHALL BE INSPECTED AND REPAIRED BY QUALIFIED PROFESSIONALS PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONSTRUCTION DEBRIS SHALL NOT BLOCK CHANNEL FLOW.
  - CONCRETE DESIGNS AND CONSTRUCTION SHALL MEET ASTM C1504, ASTM C1786 HL-93, AASHTO HS20 AND/OR N.J.DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - MEASUREMENTS ALL MEASUREMENTS MUST BE FIELD VERIFIED. DO NOT SCALE DRAWING.
  - CALL BEFORE YOU DIG ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF APPLICABLE AUTHORITIES. NEW JERSEY LAW REQUIRES ANYONE DIGGING TO CONTACT "NJ ONE CALL" AT LEAST THREE FULL BUSINESS DAYS PRIOR BEGINNING WORK.
  - THE PROFESSIONAL ACTIVITIES OR ON-SITE PRESENCE OF SHOEN ENGINEERING LLC (THE ENGINEER) AND ITS EMPLOYEES, ASSOCIATES AND REPRESENTATIVES SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES AND PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS IN EFFECT AND ANY HEALTH-AND-SAFETY PRECAUTIONS REQUIRED BY APPLICABLE REGULATORY AGENCIES. THE ENGINEER HAS NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OF ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH-AND-SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. THE ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER GENERAL CONTRACTOR'S GENERAL LIABILITY INSURANCE POLICY.

NJDEP SPECIAL CONDITIONS, PERMIT NUMBER: 0713-19-0002.1 - LUP 190001:

CONSTRUCTION EQUIPMENT SHALL NOT BE STORED, STAGED OR DRIVEN WITHIN ANY CHANNEL, FRESHWATER WETLAND OR TRANSITION AREA, UNLESS EXPRESSLY APPROVED BY THIS PERMIT AND/OR DESCRIBED ON THE APPROVED PLANS.

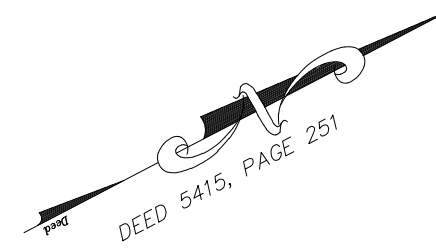
- FOR THE PURPOSES OF THIS PERMIT, THE DEPARTMENT HAS DETERMINED THAT THIS PROJECT IS NOT A MAJOR DEVELOPMENT AS DEFINED IN THE STORMWATER MANAGEMENT RULES AT N.J.A.C. 7:8-1.2. THEREFORE, THE DEPARTMENT DID NOT REVIEW THE PROPOSED PROJECT FOR COMPLIANCE WITH THESE RULES.
- CONSTRUCTION MAY ONLY BE PERFORMED ONLY UNDER CONDITIONS WHERE THE STREAM AREA IS DRY OR DE-WATERED CONDITIONS. NO WORK MAY BE PERFORMED WHERE THE STREAM CHANNEL IS WET.
- PRIOR TO COMMENCING ANY ACTIVITY SUCH AS CLEARING, GRADING OR CONSTRUCTION ONSITE, THE PERMITTEE SHALL OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL SOIL CONSERVATION DISTRICT (SCD) OR ITS DESIGNEE AND THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS). IF NEITHER SCD NOR NRCS APPROVAL IS REQUIRED, THE PERMITTEE SHALL IMPLEMENT SOIL EROSION CONTROL MEASURES SUCH AS, BUT NOT LIMITED TO, STANDARDS SPECIFIED IN N.J.A.C. 7:13-12.1(E) AND SHALL ENSURE ALL EROSION CONTROL MEASURES ARE MAINTAINED IN PROPER WORKING CONDITION THROUGHOUT THE ENTIRE DURATION OF THE PROJECT.
- IN ORDER TO PROTECT GENERAL GAME FISHERY RESOURCES WITHIN THE SECOND RIVER, ANY ACTIVITY WITHIN THE 50-FT. RIPARIAN ZONE OR WITHIN THE FLOOD HAZARD AREA WHICH WOULD LIKELY INTRODUCE SEDIMENT INTO THE WATERCOURSE AND/OR INCREASE TURBIDITY IS PROHIBITED FROM MAY 1ST THROUGH JULY 31TH OF EACH YEAR. THE DIVISION RESERVES THE RIGHT TO SUSPEND ALL REGULATED ACTIVITIES ONSITE SHOULD IT BE DETERMINED THAT THE APPLICANT HAS NOT TAKEN PROPER PRECAUTIONS TO ENSURE CONTINUOUS COMPLIANCE WITH THIS CONDITION.
- DISTURBANCE WITHIN 50 FEET OF THE TOP OF THE BANK IS ONLY PERMITTED IN THE AREAS SPECIFICALLY SHOWN ON THE APPROVED DRAWINGS. NO OTHER DISTURBANCE WITHIN 50 FEET OF THE TOP OF THE STREAM BANK IS PERMITTED. THIS CONDITION APPLIES TO ALL CHANNELS IN THE PROJECT AREAS REGARDLESS OF THE CONTRIBUTORY, DRAINAGE AREA.

PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

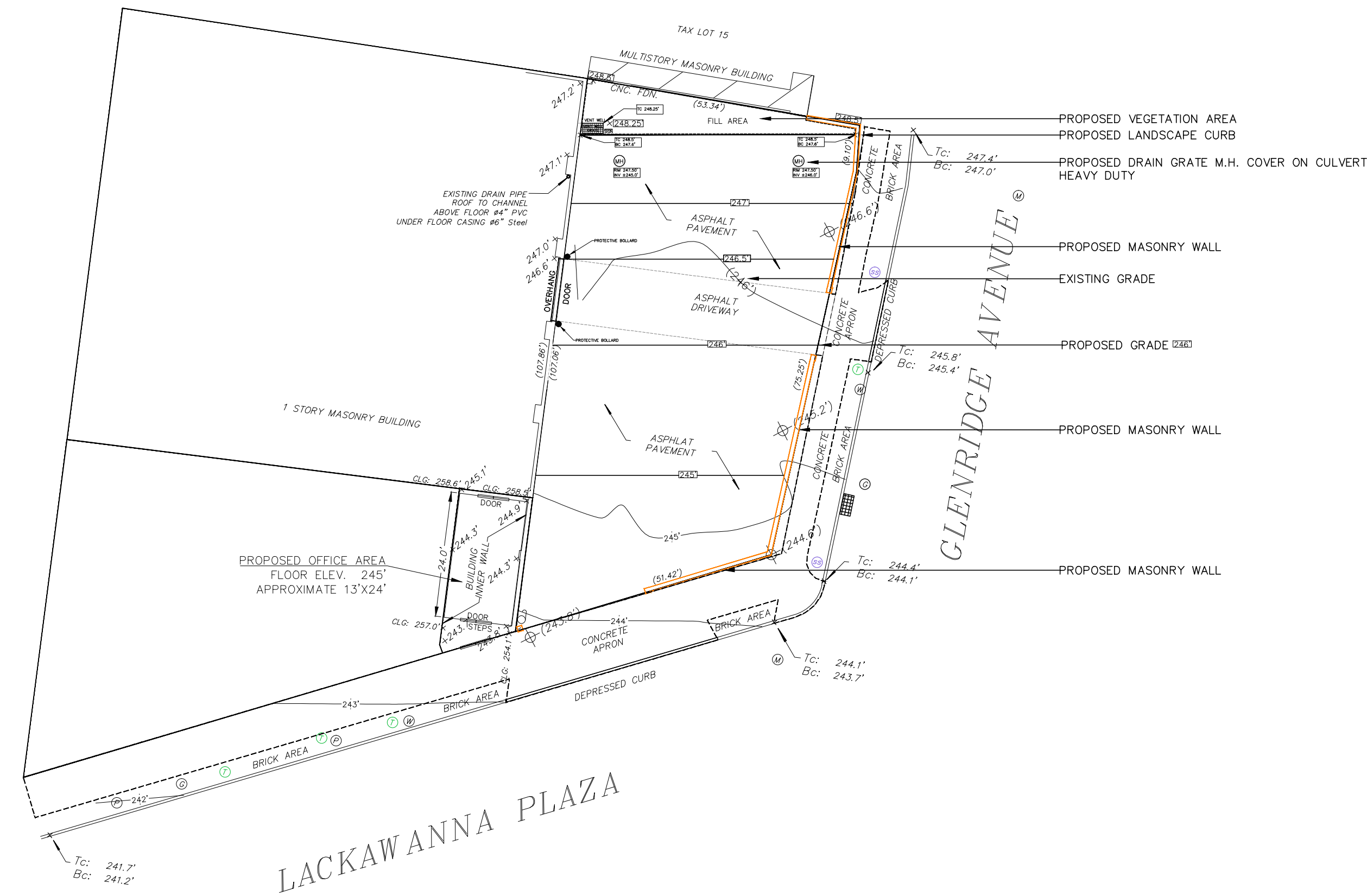
 <p>CIVIL HYDRAULIC ENVIRONMENTAL INSPECTION CONSTRUCTION REMEDIACTION</p>	
<p>TITLE: <b>SITE PLAN</b></p>	
<p>PROJECT: 160 GLENRIDGE AVE. &amp; 4 LACKAWANNA PLAZA MONTCLAIR, ESSEX COUNTY, NEW JERSEY 07042 BLOCK 3206 LOT 14 AND 13</p>	
<p>JAMES T. KIN</p> <p>PROFESSIONAL ENGINEER</p> <p>NEW JERSEY LICENSE NO. 24628216800 NEW JERSEY LICENSE NO. 24628216800 CONNECTICUT LICENSE NO. PEN05042036</p>	<p>JOB NO: 160G</p> <p>DATE: 03/26/2023</p> <p>SCALE: 1"=20'</p> <p>SHEET NO: 3</p> <p>REV. 9/28/2023</p>

# MINOR SITE PLAN

160 GLENRIDGE AVE, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY (BLOCK 3026 LOT 14)  
 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY 07042 (Block 3206 Lot 13)



PARKING LOT SLOP  
0.5% to 6%



**NOTES:**

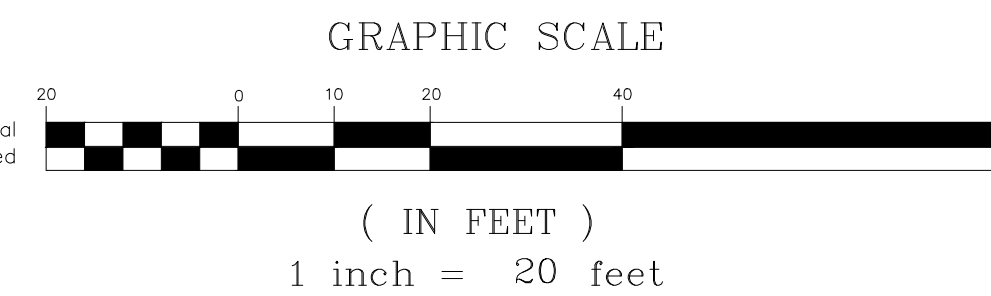
SITE: 160 GLENRIDGE AVE AND 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY  
 TAX ID: BLOCK 3206 LOTS 14 & 13 (PROPOSED LOT 13A)  
 OWNER/APPLICANT: JOHN'S AUTOMOTIVE, INC.

THIS GRADING PLAN IS SUBJECT TO REVIEW AND APPROVAL BY THE APPROPRIATE REGULATORY AGENCIES. ANY REVISIONS OR MODIFICATIONS REQUIRED BY THE REVIEWING AUTHORITY SHOULD BE ADDRESSED BEFORE COMMENCING CONSTRUCTION. THE FOLLOWING ITEMS OUTLINE THE GRADING PLAN FOR THE ENGINEERING SITE PLAN:

- EXISTING SITE CONDITIONS: DETAILED TOPOGRAPHIC SURVEY INFORMATION IS OBTAINED FOR THE SITE. EXISTING CONTOURS ARE SHOWN ON THE PLAN WITH CONTOUR INTERVALS OF ONE FOOT. EXISTING SPOT ELEVATIONS ARE PROVIDED AT KEY POINTS OF THE SITE.
- PROPOSED GRADING: PROPOSED CONTOURS ARE SHOWN ON THE PLAN WITH CONTOUR INTERVALS OF ONE FOOT. CUT AND FILL AREAS ARE INDICATED. ALL PROPOSED SLOPES ARE WITHIN THE ALLOWABLE LIMITS AS SPECIFIED BY THE REGULATIONS. ANY NECESSARY RETAINING WALLS OR SLOPE STABILIZATION MEASURES ARE IDENTIFIED.
- EROSION AND SEDIMENT CONTROL: APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH APPLICABLE REGULATIONS. MEASURES SHALL BE TAKEN TO PROTECT NEARBY WATER BODIES FROM SEDIMENT RUNOFF.
- DRAINAGE: THE GRADING PLAN ENSURES POSITIVE DRAINAGE AWAY FROM STRUCTURES AND FOLLOWS THE EXISTING DRAINAGE PATTERN BETWEEN 3% AND 5% AFTER SITE IMPROVEMENTS. RUNOFF FROM THE AREA OF THE FORMER OPEN CHANNEL WILL MOSTLY DRAIN TO THE CULVERT VIA TWO SURFACE GRATES AND ONE VENT WELL. THE ROOF DRAINAGE SYSTEM REMAINS UNCHANGED. STORMWATER RUNOFF FROM OTHER AREAS IS DIRECTED TO APPROPRIATE PUBLIC CONVEYANCE SYSTEMS. DRAINAGE PATTERNS ARE MAINTAINED OR IMPROVED UPON FROM THE EXISTING CONDITIONS. LOCATIONS OF PROPOSED DRAINAGE INFRASTRUCTURES ARE INDICATED ON THE PLAN.
- UTILITY: UTILITY LINES AND STRUCTURES ARE NOT PROPOSED. EXISTING UTILITY LINES ARE IDENTIFIED, INCLUDING ELECTRIC POLE, WATER MAINS, SANITARY SEWERS, STORM SEWERS, AND ANY OTHER UTILITIES PRESENT ON THE SITE. PROPOSED GRADING AVOIDS CONFLICTS WITH EXISTING UTILITIES.
- CONSTRUCTION DETAILS: CONSTRUCTION DETAILS ARE PROVIDED IN SEPARATED PLANS FOR GRADING OPERATIONS, INCLUDING SPECIFICATIONS FOR CUT AND FILL SLOPES, CURBS, AND COMPACTION REQUIREMENTS.



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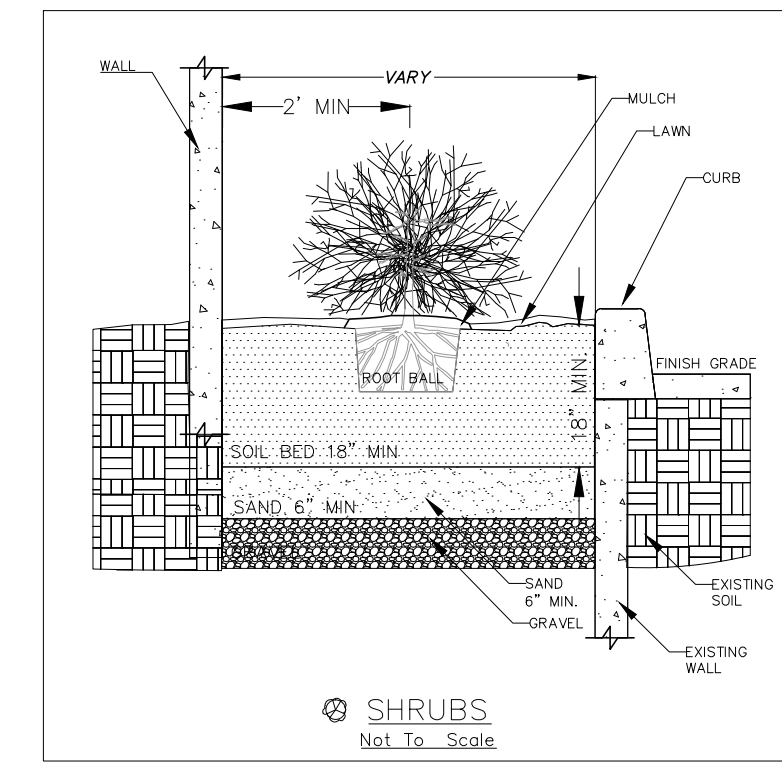
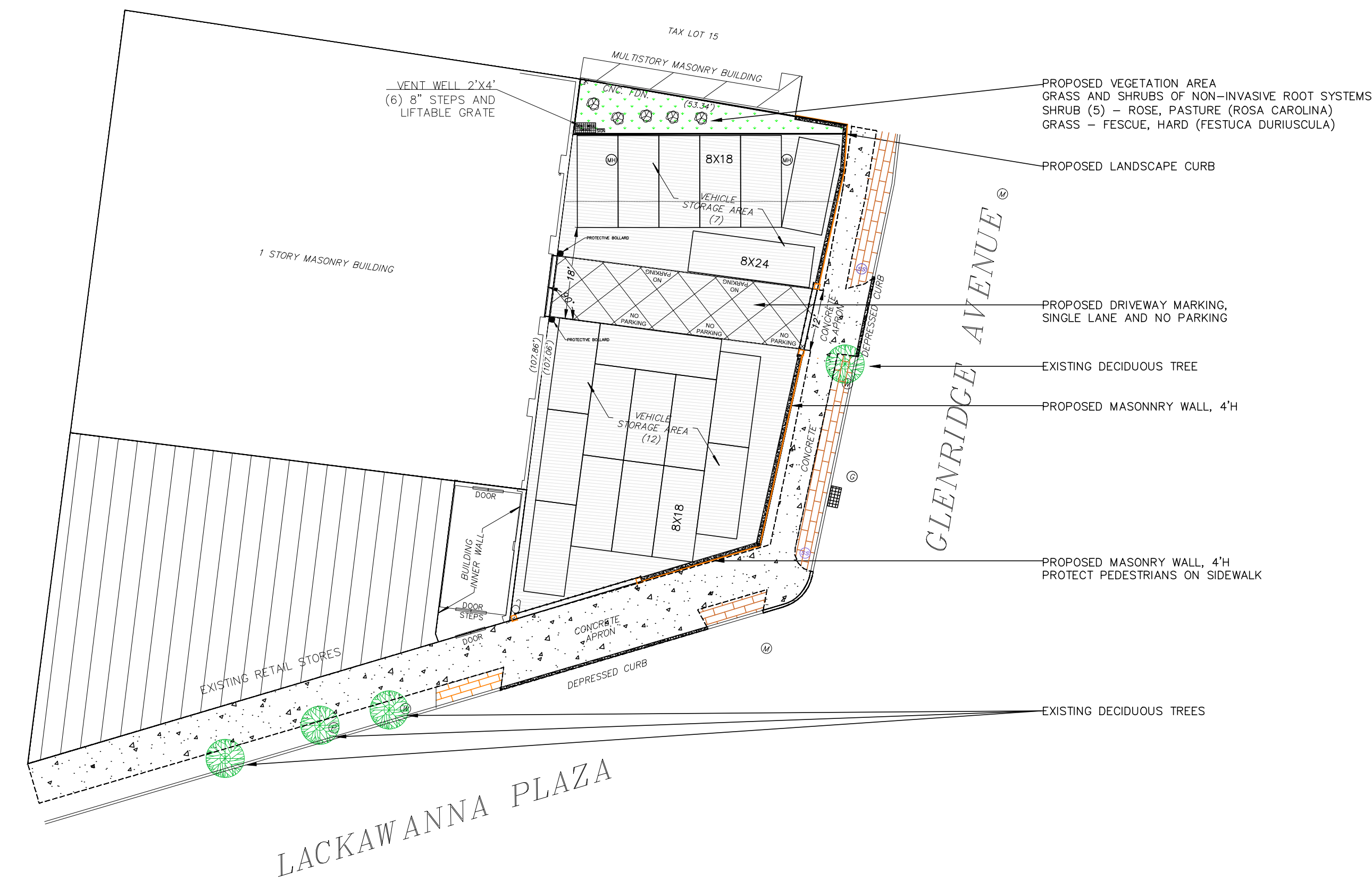
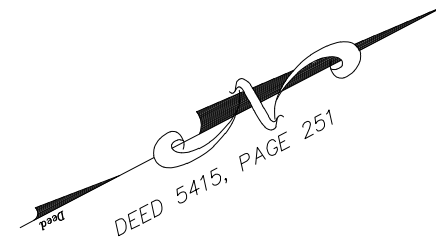
Datum Note: The vertical datum is consistent with North American Vertical Datum of 1988 (NAVD 1988). The horizontal datum is based on an assumed positioning system and the north direction is consistent with a deed.

PLANNING BOARD	
APPROVAL	
APPROVED BY THE PLANNING BOARD TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

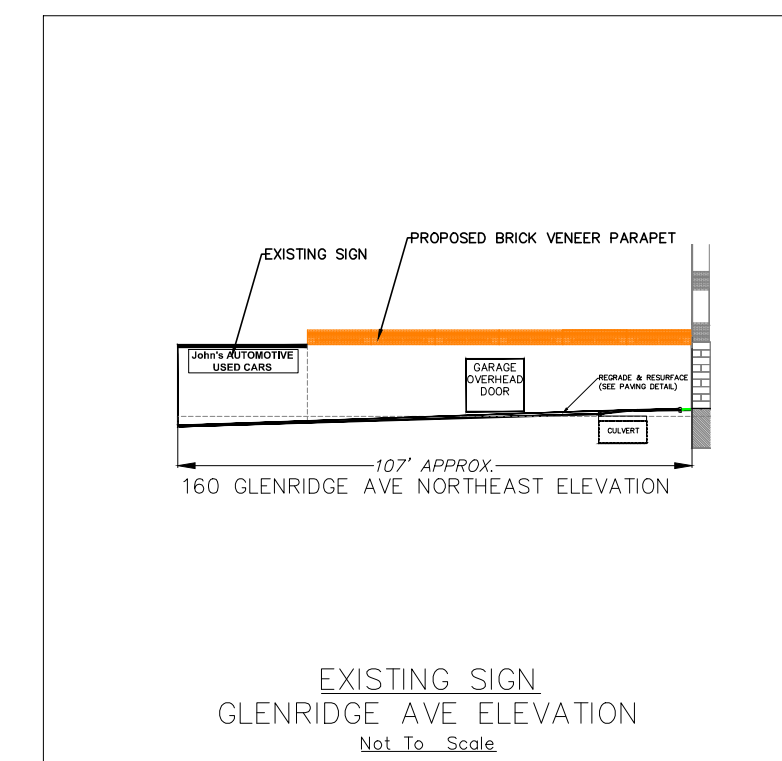
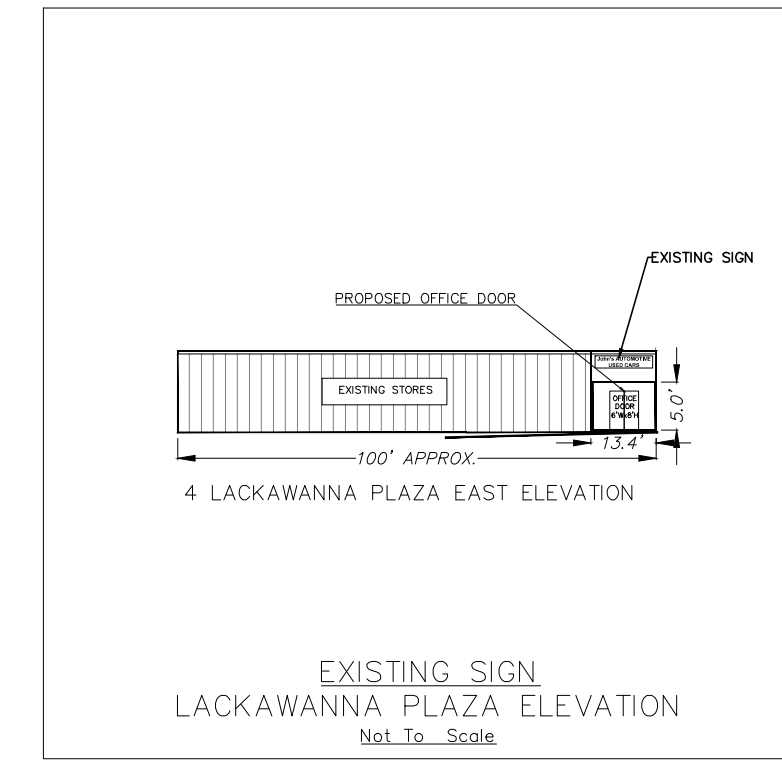
<b>THIS PLAN SET IS FOR PERMITTING AND CONSTRUCTION</b>			
 CERTIFICATE OF AUTHORIZATION: 24GA28216800		<ul style="list-style-type: none"> <li>• CIVIL</li> <li>• HYDRAULIC</li> <li>• ENVIRONMENTAL</li> <li>• INSPECTION</li> <li>• CONSTRUCTION</li> <li>• REMEDIATION</li> </ul>	
TITLE: GRADING AND DRAINAGE PLAN			
PROJECT: 160 GLENRIDGE AVE. & 4 LACKAWANNA PLAZA MONTCLAIR, ESSEX COUNTY, NEW JERSEY 07042 BLOCK 3206 LOT 14 AND 13		JOB NO: 160G	DATE: 03/26/2023
DRAN BY: VJK	DESIGN BY: JTK	CHECKED BY: JTK	SCALE: 1"=20'
REVISION	DATE	COMMENTS	SHEET No: 4
1.	9/28/2023	Improve text, legibility, add street signs, utilities	NOTE 1: NOTE 2:
2.	8/20/2023	Modification of surface grading	
3.	6/20/2023	Modification to comments by Planning & Engineering, JK	FILE: 160GLENRIDGEAVE12
JAMES T. KIN  PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 24628216800 PENNSYLVANIA LICENSE NO. PEN039326		REV. 9/28/2023	

# MINOR SITE PLAN

160 GLENRIDGE AVE, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY (BLOCK 3026 LOT 14)  
 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY 07042 (Block 3206 Lot 13)

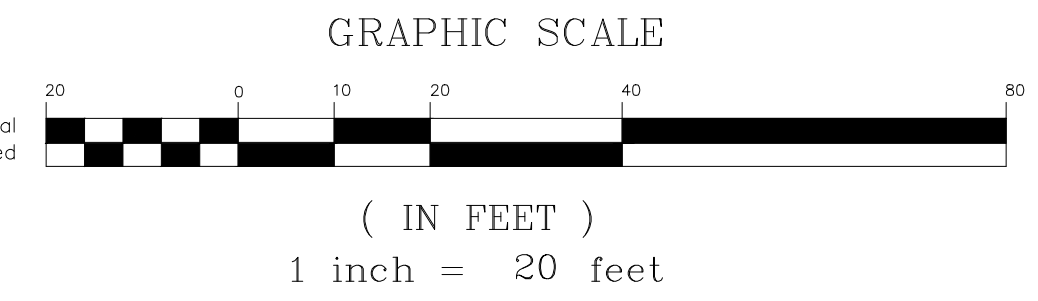


PLANTING NOTE:  
 1. ROOT BALLS SHALL BE SMALLER THAN 2" # AND SET ON COMPACTED PLANTING SOIL MIXTURE.  
 2. PLANTING HOLE FOR ROOT BALL SHALL BE TWICE THE DIAMETER OF THE ROOT BALL.  
 3. TOP OF ROOT BALL SHALL BE 1" TO 2" ABOVE FRESH GRADE.  
 4. REMOVE ALL ROOTS, WIRE BARRIERS AND SYNTHETIC WEAVING MATERIAL.  
 5. BACKFILL PLANT FITS IN 12" COMPACTED LIFT, THOROUGHLY WATER EACH LIFT WHILE PLANTS MULCH, 3" THICK COVER ENTIRE PLANTING BED.



Common Name	Scientific Name	Plant Type	Hydrologic Zone	Root	Color	Quantity
Fescue, hard	Festuca duriuscula	Grass	[3,4,5,6]	Shallow Dense, Non-Invasive	Green	326 S.F.
Rose, pasture	Rosa carolina	Shrub	[5,6]	Deep taproot, Non-Invasive	Flower Pink/Purple	5

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Datum Note: The vertical datum is consistent with North American Vertical Datum of 1988 (NAVD 1988). The horizontal datum is based on an assumed positioning system and the north direction is consistent with a deed.

**NOTES:**

SITE: 160 GLENRIDGE AVE AND 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY  
 TAX ID: BLOCK 3206 LOTS 14 & 13 (PROPOSED LOT 13A)  
 OWNER/APPLICANT: JOHN'S AUTOMOTIVE, INC.

THE LANDSCAPE PLAN IS PROVIDED AS PART OF SITE PLAN AND SUBDIVISION SUBMISSIONS AS PER MONTCLAIR TOWNSHIP ORDINANCE § 281-8.2.

**A. LANDSCAPE DESIGN.**

- (1) GENERAL PROVISIONS. THE FOLLOWING GENERAL PROVISIONS SHALL APPLY TO THE INSTALLATION AND DESIGN OF LANDSCAPES AND STREETSCAPES:
  - (A) ALL LAND AREAS NOT COVERED WITH BUILDINGS, PARKING, OR OTHER IMPERVIOUS SURFACES SHALL BE LANDSCAPED WITH SUITABLE MATERIALS. LANDSCAPING SHALL CONSIST OF TREES, SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SINGLY OR IN COMMON AS WELL AS OTHER INANIMATE MATERIALS SUCH AS ROCKS, WATER, SCULPTURE, ART, WALLS, FENCES, AND PAVING MATERIALS.
  - (B) A LANDSCAPE DESIGN SHALL BE PROVIDED AS PART OF SITE PLAN AND SUBDIVISION SUBMISSIONS. EVERY APPLICANT FOR SUBDIVISION OR SITE PLAN APPROVAL SHALL COMPLY WITH THE MINIMUM STANDARDS AS SET FORTH IN THIS SECTION.
  - (C) THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL PLANT MATERIAL TO CREATE AN APPROPRIATE LANDSCAPING SCHEME FOR THE SITE GIVEN THE NATURE OF THE SITE AND THE PROPOSED DEVELOPMENT.
  - (D) WHERE SUBDIVISIONS ONLY ARE APPLIED FOR THE MINIMUM STANDARDS SHALL APPLY ONLY TO STREET TREES AND TO COMMON OPEN SPACE AND AREAS PROPOSED TO BE DEDICATED TO THE PUBLIC.
  - (E) ALL LANDSCAPE PLANTS SHALL BE TYPICAL IN SIZE AND WEIGHT FOR THEIR SPECIES AND SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR QUALITY AND INSTALLATION.
  - (F) PLANTS WITH PERVASIVE ROOT SYSTEMS SHALL NOT BE LOCATED WHERE THEY MAY CAUSE DAMAGE TO DRAINAGE PIPES OR OTHER UNDERGROUND UTILITIES AND STORMWATER MANAGEMENT FACILITIES AND SHOULD GENERALLY BE NO CLOSER THAN 10 FEET, MEASURED HORIZONTALLY.
  - (G) ALL PLANTS SHALL BE TOLERANT OF SPECIFIC SITE CONDITIONS. THE USE OF INDIGENOUS SPECIES IS STRONGLY ENCOURAGED. EXOTIC, NONNATIVE INVASIVE PLANT SPECIES SHALL NOT BE PERMITTED.

**B. LANDSCAPE DESIGN GUIDELINES.** THE FOLLOWING GUIDELINES ARE TO BE USED WHEN DESIGNING THE LANDSCAPE PLAN:

- (1) LANDSCAPING SHALL BE DESIGNED TO ACHIEVE A THOROUGH INTEGRATION OF THE VARIOUS ELEMENTS OF SITE DESIGN, INCLUDING BUILDING AND PARKING PLACEMENT, THE NATURAL FEATURES OF THE SITE AND THE PRESERVATION OF PLEASING OR AESTHETIC VALUES. LANDSCAPING SHALL BE USED TO ACCENT AND COMPLEMENT THE FORM AND TYPE OF BUILDING(S) PROPOSED.
- (2) EVERY POSSIBLE CONSIDERATION SHALL BE GIVEN AND EVERY POSSIBLE MEASURE TAKEN IN THE INTEREST OF RETAINING ALL STANDING LIVE TREES WITH SPECIAL EMPHASIS ON TREES IN EXCESS OF SIX INCHES DIAMETER BREAST HEIGHT (D.B.H.). ALL DEAD OR DISEASED TREES SHALL BE REMOVED.
- (3) LANDSCAPING SHALL BE LOCATED TO PROVIDE EFFECTIVE CLIMATIC CONTROL. THE EAST AND WEST WALLS OF A BUILDING SHOULD BE THE MOST HEAVILY VEGETATED TO SHADE FOR SUMMER SUN AND THE NORTH TO NORTHWEST AREA FOR WINTER PREVAILING WINDS. THE SOUTHERLY FACING SIDE OF A BUILDING SHOULD BE SHADED FROM SUMMER SUN BUT OPEN FOR SOLAR GAIN DURING THE WINTER.
- (4) PLANTS' SUSCEPTIBILITY TO DISEASE, THEIR COLORS, TEXTURES, SHAPES, BLOSSOMS, FOLIAGE CHARACTERISTICS AND DROUGHT TOLERANCE SHALL BE CONSIDERED IN THE OVERALL DESIGN OF A LANDSCAPE PLAN.
- (5) LOCAL SOIL CONDITIONS AND WATER AVAILABILITY SHALL BE CONSIDERED IN THE CHOICE OF LANDSCAPING.
- (6) IN THE DESIGN PROCESS, THE EVENTUAL MATURITY OF THE PLANT SHALL BE CONSIDERED FOR ITS EFFECT ON CIRCULATION PATTERNS, SOLAR ACCESS, SITE LIGHTING, DRAINAGE, EMERGENCY ACCESS AND RELATIONSHIP TO BUILDINGS AND THE STREETSCAPE.

**C. STREET TREES.** FOUR EXISTING DECIDUOUS TREES EXISTS ON SITE. ONE AT GLENRIDGE AVENUE AND THREE ON LACKAWANNA PLAZA.

**D. LANDSCAPE BUFFERS.** WALLS, FENCE AND GATES ARE PROVIDED ALONG THE ENTIRE PROPERTY LINE AS A SCREENING BUFFER AND PROTECTION FOR PEDESTRIANS ON THE ADJACENT WALKWAYS. THE GATES REMAIN OPEN FOR OPERATING HOURS.

PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

**THIS PLAN SET IS FOR PERMITTING AND CONSTRUCTION**

**SHOEN ENGINEERING**

CERTIFICATE OF AUTHORIZATION: 24G28216800

- CIVIL
- HYDRAULIC
- ENVIRONMENTAL
- INSPECTION
- CONSTRUCTION
- REMEDIATION

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TITLE: **LANDSCAPE AND CIRCULATION PLAN**

PROJECT: 160 GLENRIDGE AVE. & 4 LACKAWANNA PLAZA  
MONTCLAIR, ESSEX COUNTY, NEW JERSEY 07042  
BLOCK 3206 LOT 14 AND 13

JOB NO: 160G      DATE: 03/26/2023

SCALE: 1"=20'

SHEET No: **5** of 7

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**JAMES T. KIN**

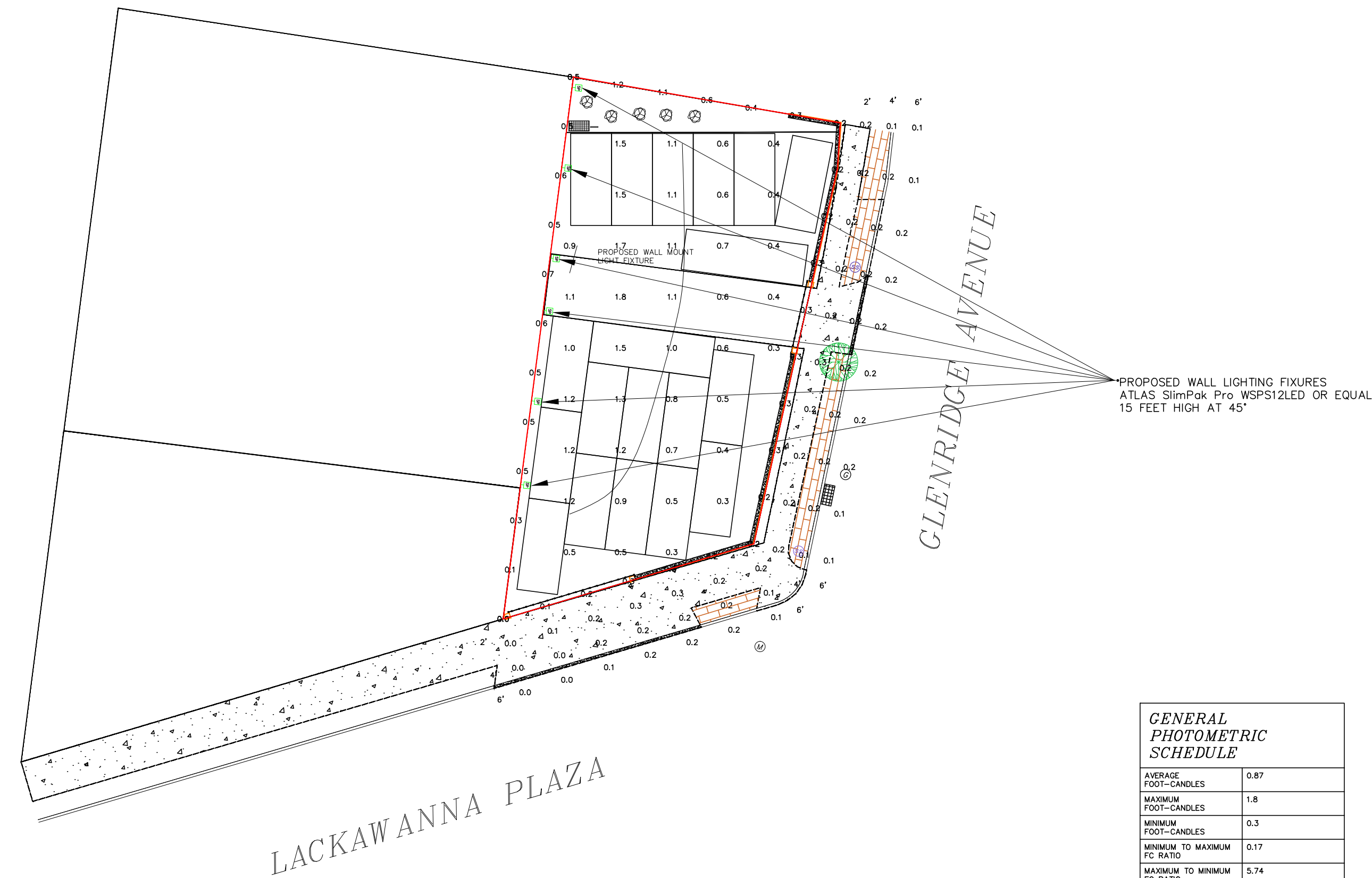
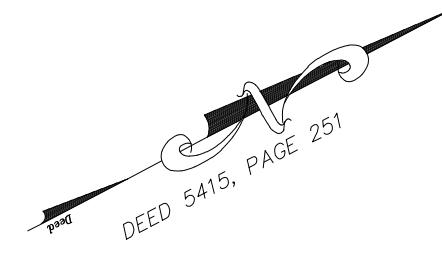
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 24628216800  
NEW JERSEY LICENSE NO. 24628216800  
CONNECTICUT LICENSE NO. PEN0916356

REVISIONS:

NO.	DATE	DESCRIPTION
1.	9/28/2023	Improve text, legibility, add street signs, utilities
2.	8/20/2023	Modification to comply with comments by D.R.C.
3.	6/20/2023	Modification to comments by Planning & Engineering, JK

# MINOR SITE PLAN

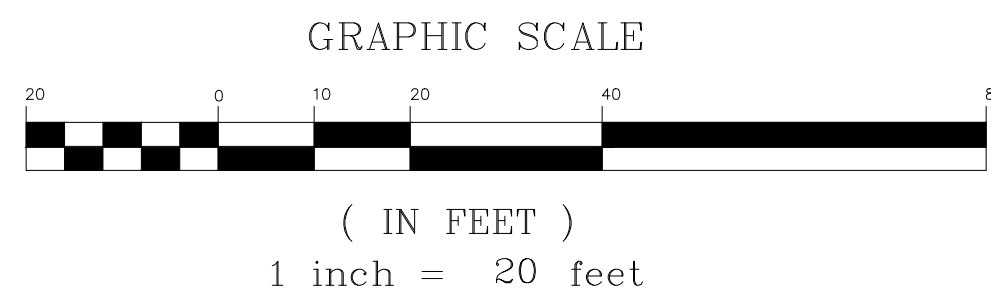
160 GLENRIDGE AVE, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY (BLOCK 3026 LOT 14)  
 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY 07042 (Block 3206 Lot 13)



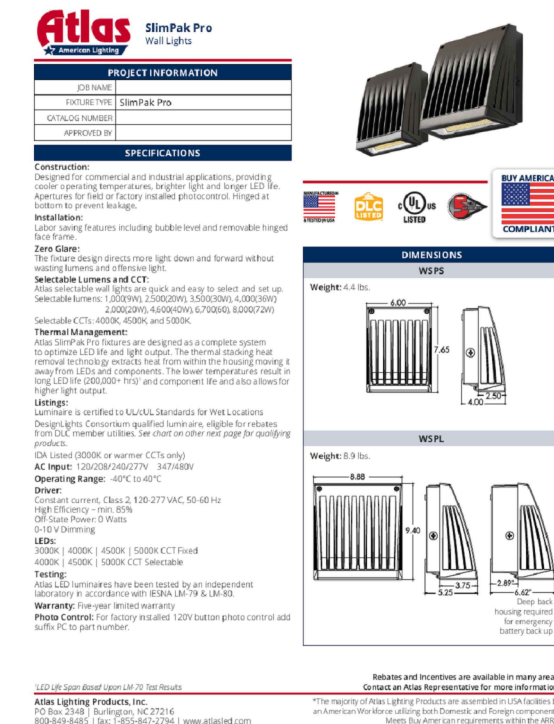
GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDELES	0.87
MAXIMUM FOOT-CANDELES	1.8
MINIMUM FOOT-CANDELES	0.3
MINIMUM TO MAXIMUM FC RATIO	0.17
MAXIMUM TO MINIMUM FC RATIO	5.74
AVERAGE TO MINIMUM FC RATIO	2.72

LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE	QUANTITY
W-SlimPak	Atlas	(1)	2790-1	ELECTRONIC	WALL	ATLAS LIGHTING PRODUCTS, WSP512LED	120V 1P 2W	UV 810 America 5071/1001 2-40-36 25.7 deg C 23.984 14.044 0.10 150.07 153.010 Stable 0.49 % 0.30 % 1285.55	6

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NOTE: SEE THE ATTACHED LIGHTING FIXTURE DETAILS.

ATLAS SlimPak Pro	
Model	WSP512LED
Power	2W
Beam Angle	25.7°
Color Temperature	4000K
Life Span	50,000 hours
Dimensions	1.5" x 1.5" x 1.5"

ATLAS SlimPak Pro	
Model	WSP512LED
Power	2W
Beam Angle	25.7°
Color Temperature	4000K
Life Span	50,000 hours
Dimensions	1.5" x 1.5" x 1.5"

NOTES:

SITE: 160 GLENRIDGE AVE AND 4 LACKAWANNA PLAZA, MONTCLAIR TOWNSHIP, ESSEX COUNTY, NEW JERSEY  
 TAX ID: BLOCK 3206 LOTS 14 & 13 (PROPOSED LOT 13A)  
 OWNER/APPLICANT: JOHN'S AUTOMOTIVE, INC.

THE LIGHTING PLAN IS PROVIDED AS PART OF SITE PLAN AS PER MONTCLAIR TOWNSHIP ORDINANCE § 281-8.3. EACH SITE PLAN SHALL PROVIDE FOR THE FOLLOWING:

- A. LIGHTING PLAN. A LIGHTING PLAN PREPARED BY A QUALIFIED INDIVIDUAL SHALL BE PROVIDED WITH ALL MAJOR SUBDIVISION AND SITE PLAN APPLICATIONS.
- B. STREET LIGHTING. NOT APPLICABLE. STREET LIGHTING IS NOT PROPOSED.
- C. PARKING AREAS.
  - (1) ALL PARKING AREAS AND WALKWAYS THERETO AND APPURTENANT PASSAGEWAYS, BUILDING ENTRANCES, LOADING AREAS AND DRIVEWAYS REQUIRED FOR NONRESIDENTIAL OR MULTIFAMILY USES SHALL BE ADEQUATELY ILLUMINATED DURING THE HOURS OF OPERATION WHICH OCCUR AFTER SUNSET.
  - (2) ANY ADJACENT RESIDENTIAL ZONE OR USE SHALL BE SHIELDED FROM THE GLARE OF ILLUMINATION FROM SITE LIGHTING AND AUTOMOBILE HEADLIGHTS.
  - (3) NOT APPLICABLE. FREESTANDING LIGHT IS NOT PROPOSED.
- D. SECURITY LIGHTING. COMMERCIAL PROPERTY SHALL PROVIDE SECURITY LIGHTING REQUIRED FOR SAFETY NOT TO EXCEED 40% OF THE SITE LIGHTING OR THOSE REQUIRED FOR SAFETY AS DETERMINED BY THE MONTCLAIR TOWNSHIP POLICE DEPARTMENT. LIGHTING IN MIXED OR RESIDENTIAL USE AREAS SHALL BE TURNED OFF BETWEEN 11:00 P.M. AND 6:00 A.M. IN RESIDENTIAL OR MIXED-USE AREAS. THIS SHALL ALSO APPLY TO SIGNAGE LIGHTING. PROVISIONS SHALL BE MADE FOR REDUCTION IN THE INTENSITY OF ILLUMINATION TO THE MINIMUM NEED FOR SECURITY PURPOSES WHEN A FACILITY IS NOT IN OPERATION.
- E. LIGHTING INTENSITY.
  - (1) THE LIGHTING PLAN SHALL SHOW THE PROPOSED LIGHT INTENSITY (INCLUDING FIXTURES NOTED TO REMAIN) AT GROUND LEVEL INDICATED WHERE 0.5 FOOTCANDELES OCCUR.
  - (2) DIMENSIONED MANUFACTURER'S LIGHTING DETAILS AND SPECIFICATIONS INCLUDING FOOTCANDELE DISTRIBUTIONS SHALL BE PROVIDED.
  - (3) ALL LIGHTS SHALL BE CONCEALED SOURCE NONGLARE LIGHTING AND SHALL BE FOCUSED DOWNWARD SO THAT THE DIRECT SOURCE OF LIGHT IS NOT VISIBLE FROM ADJOINING STREETS OR PROPERTIES. NO LIGHT SHALL SHINE INTO BUILDING WINDOWS OR ONTO STREETS AND DRIVEWAYS SO AS TO INTERFERE WITH OR DISTRACT DRIVER VISION.
  - (4) THE LENS OF THE LIGHT SHALL BE FLUSH WITH THE FIXTURE HOUSING AND SHALL BE PARALLEL TO THE GROUND. MOVABLE FIXTURE HOUSINGS ARE PROHIBITED.
  - (5) THE MINIMUM FOOTCANDELE IN AREAS USED BY THE PUBLIC SHALL BE 0.5; THE MAXIMUM FOOTCANDELE IS TWO. THE LIGHT INTENSITY SHALL NOT EXCEED 0.3 FOOTCANDELES ALONG ANY PROPERTY LINE AND SHALL BE SO ARRANGED AND SHIELDED TO REFLECT THE LIGHT AWAY FROM ADJOINING STREETS OR PROPERTIES.
- F. HEIGHT OF FIXTURE. LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN 15 FEET OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS, MEASURED FROM THE GROUND LEVEL TO THE CENTERLINE OF THE LIGHT SOURCE.
- G. STYLE. THE STYLE OF ANY LIGHT OR LIGHT STANDARD SHALL BE CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING AND, WHERE APPROPRIATE, THE ARCHITECTURAL CHARACTER OF THE SURROUNDING AREA.
- H. OTHER. FREESTANDING LIGHTS OR LIGHT FIXTURES ATTACHED TO UTILITY POLES ARE PROHIBITED WITHIN THE ROAD RIGHT-OF-WAY WITH THE EXCEPTION OF STREET LIGHTS. ANY OTHER OUTDOOR LIGHTING, SUCH AS BUILDING AND SIDEWALK ILLUMINATION, DRIVEWAYS WITH NO ADJACENT PARKING, THE LIGHTING OF SIGNS AND ORNAMENTAL LIGHTING, SHALL BE SHOWN ON THE LIGHTING PLAN, IN SUFFICIENT DETAIL TO ALLOW A DETERMINATION OF EFFECTS UPON ADJACENT PROPERTIES, TRAFFIC SAFETY AND OVERHEAD SKY GLOW. TO ACHIEVE THE ABOVE REQUIREMENTS, THE INTENSITY OF LIGHT SOURCES, LIGHT SHIELDING AND SIMILAR CHARACTERISTICS SHALL BE SUBJECT TO SITE PLAN APPROVAL.

PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

**THIS PLAN SET IS FOR PERMITTING AND CONSTRUCTION**

**SHOEN ENGINEERING**

CERTIFICATE OF AUTHORIZATION: 24G428216800

- CIVIL
- HYDRAULIC
- ENVIRONMENTAL
- INSPECTION
- CONSTRUCTION
- REMEDIATION

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TITLE: **LIGHTING PLAN**

PROJECT: 160 GLENRIDGE AVE. & 4 LACKAWANNA PLAZA  
MONTCLAIR, ESSEX COUNTY, NEW JERSEY 07042  
BLOCK 3206 LOT 14 AND 13

JOB NO: 160G

DATE: 03/26/2023

DESIGN BY: VJK

CHECKED BY: JTK

SCALE: 1"=20'

SHEET NO: 6

**JAMES T. KIN**

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE NO. 24628216800  
NEW JERSEY EXPIRES 03/26/2023  
CONNECTION LICENSE NO. PEN0918236

NOTE 1: \_\_\_\_\_

NOTE 2: \_\_\_\_\_

REVISION

NO.	DATE	DESCRIPTION
1.	9/28/2023	Improve text, legibility, add street signs, utilities
2.	8/20/2023	Modification to comply with comments by D.R.C.
3.	6/20/2023	Modification to comply with comments by Planning & Engineering, JK

FILE: 160GLENRIDGEAVE12

REV: 9/28/2023

