

TO: Zoning Board of Adjustment
 FROM: Janice Talley, P.P., AICP
 RE: Application 2866 – 167 Harrison Avenue. Andrew & Phillip Orphanidis.
 Ahmed A. Emara - Minor Site Plan
 (Block 1907, Lot 5)
 DATE: November 7, 2023
 STATUS: Complete

This report reviews the following information submitted in connection with this application:

- Tax map of property dated 09/27/2023.
- Five-page site plan prepared by Ahmed A. Emara, dated 07/22/2023 and revised 11/6/23.
- Application for development received on 09/27/2023.
- Certification of Taxes Paid received on 09/27/2023.

Site Description

The property is located at the northeast corner of Tichenor Place and Harrison Avenue across from the Harrison Avenue bus stop. The property is a corner lot containing a 2 ½ -story mixed-use building with two residential units and one ground-floor commercial store. The area of the building is 2,956 square feet and the lot area is 2,370 square feet with approximately 30.56 feet of frontage on Harrison Avenue.

The front yard setback is 7.87 feet and is currently paved. A paved private parking area is in the rear yard with access from Tichenor Place. There is a no parking sign opposite the store and a stop sign

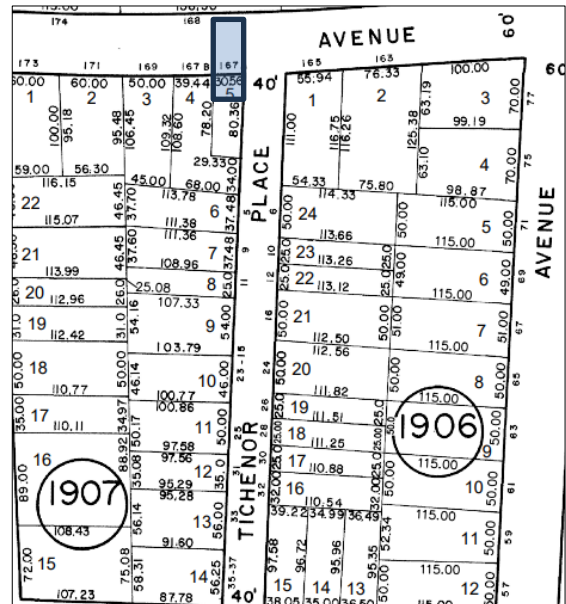


Figure 1: Location of subject property on Township tax map.

at the intersection of Harrison Ave and Tichenor Pl.

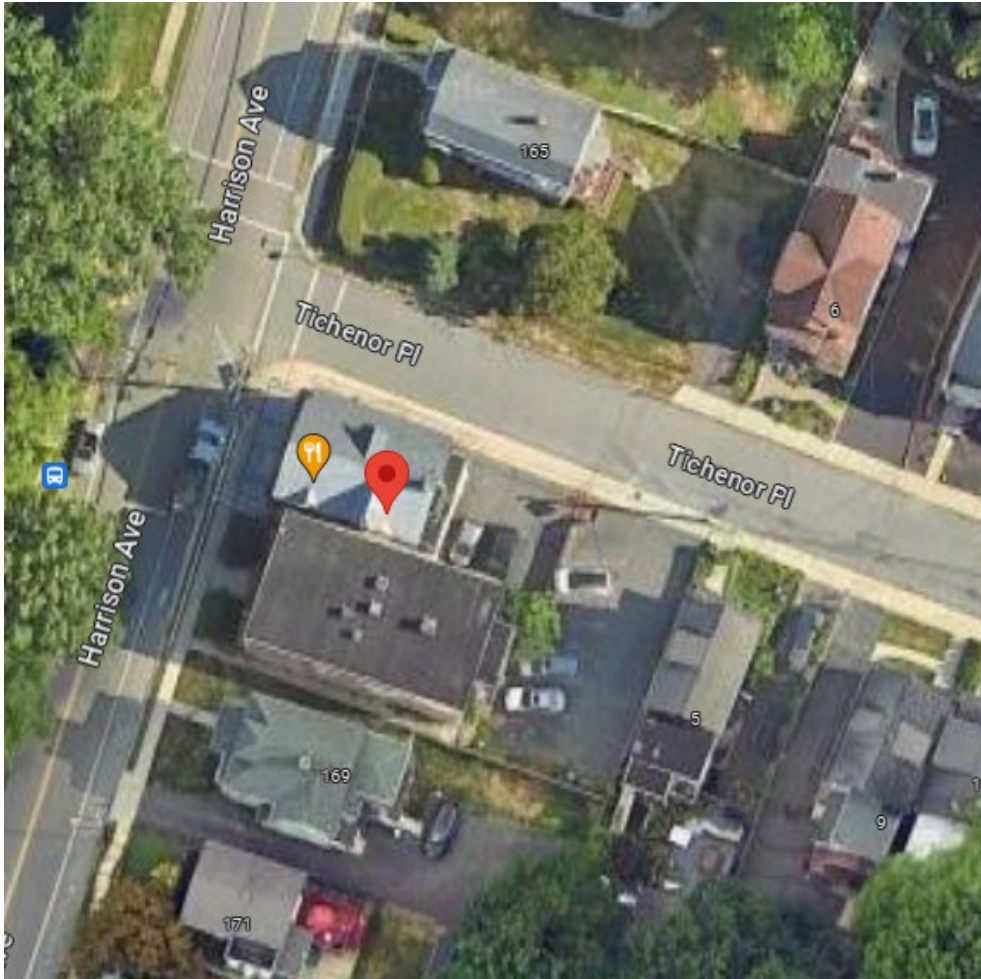


Figure 2: Aerial photo showing the location of the subject property. Source: Google Maps.



Figure 3: Mixed-Use property at 167 Harrison Avenue.



Figure 4: Opposite of property.



Figure 5: Harrison side of the property.



Figure 6: Car parking on the property. Source: Google maps.



Figure 7: Parking side of the property with presumably storage and back door.



Figure 8: Fence on the parking side of the property.



Figure 9: No parking sign on the side of Tichenor Street.



Figure 10: Stop sign at the intersection of Harrison Avenue and Tichenor Place.

Project Description

The application requires minor site plan approval for the addition of a dormer on the third floor. The application includes the following improvements to the property:

1. Proposed dormer on the property to expand the third floor.
2. Renovating the building with new windows and paint.
3. Formalizing the layout of the parking lot showing three parking spaces, including one handicapped space, measuring 8 feet in width and 19 feet in depth.
4. New landscaped areas along the southern end of the parking area and at the northeast corner of the building are provided.

Zoning

The property is in the R-2 Two-Family Zone district. The mixed-use building is a pre-existing nonconforming use originally approved by the Board of Adjustment in 1932. A d(2) use variance is required for the expansion of a non-conforming use. A variance is required for maximum building height as the proposed dormer makes the building a 3-story building and the maximum permitted is 2-1/2 stories. There are several pre-existing bulk variances for the property including minimum lot size, minimum lot width, minimum front yard setback, minimum side yard setback, maximum impervious coverage, maximum building coverage and parking.



Figure 11: Map showing zoning for the subject property.

Planning Considerations

1. The plan should indicate that the parking spaces will be striped with paint.
2. The dimensions of the landscaped area on the south side of the parking area should be provided and a planting schedule with the details of the proposed plantings provided.
3. The dimensions and details of the trash enclosure should be provided. The walls enclosing the trash enclosure must be at least five feet tall.
4. The zoning table must be revised to indicate the pre-existing variances. In addition, the zoning table must also show how the property addresses the maximum impervious coverage for the site, which is 55 percent.
5. The leaders should be directed to landscaped areas to provide for improved stormwater infiltration and reduced sheet flow of stormwater.