

205 Claremont Avenue, Montclair, NJ 07042  
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## MEMORANDUM

TO: Historic Preservation Commission  
FROM: Janice Talley, PP, AICP  
DATE: November 28, 2023  
RE: **App. HPC 2023-15 – Peter and Jessica Lin: 30 North Mountain Avenue**

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This application has been filed with the Historic Preservation Commission seeking a Certificate of Appropriateness as a minor application for improvements to a local historic landmark located at 30 North Mountain Avenue. The improvements include installation of concrete steps in the front yard, a stone retaining wall in the front yard, a pergola in the rear yard, walkways, driveway improvements, wooden ties along the property line and a copper gutter.

### **Documents Received**

- Application for a Certificate of Appropriateness, dated May 9, 2023, received May 25, 2023
- 9-page exhibit including marked up copy of property survey, photos, example images, and product specs emailed to staff by applicant and assembled by planning staff on May 25, 2023
- E-mails from Peter Lin dated October 9 with attachments containing additional submission items.
- E-mail from Peter Lin dated October 8, 2023, with request for railroad ties along sidewalk.
- E-mail from Peter Lin dated November 17, 2023, with request for new gutter under the roof of the kitchen porch.

### **Building Significance**

30 North Mountain Avenue, also known as Evergreen or the Schultz House is an individual local landmark property in the Township, designated by ordinance. It was added to the National Register in 1979. The three-story Victorian residence was built in 1896. A two-story carriage house structure is located to the rear of the dwelling. The property is a corner lot at the southwest corner of the intersection of North Mountain Avenue and Claremont Avenue. The property is now occupied as a single-family residence but was previously owned by the Montclair History Center and used for tours.

The 1980 survey describes the building as follows:

*The high gables, central dormer w/ polygonal roof, side dormers & tiled roof offer a strongly varied texture. The surface of the building is a blend of light & shadow, due to the varying planes, deep recesses, diverse & textured materials, and the sharp silhouette of the high pitched dormers... Architecturally, it is an interesting and curious blend of styles, with a beautiful, flowing interior space, typical of the Shingle style of the [18]80s and 90s.*



**Figure 1: Photo negative from the 1980 property survey**

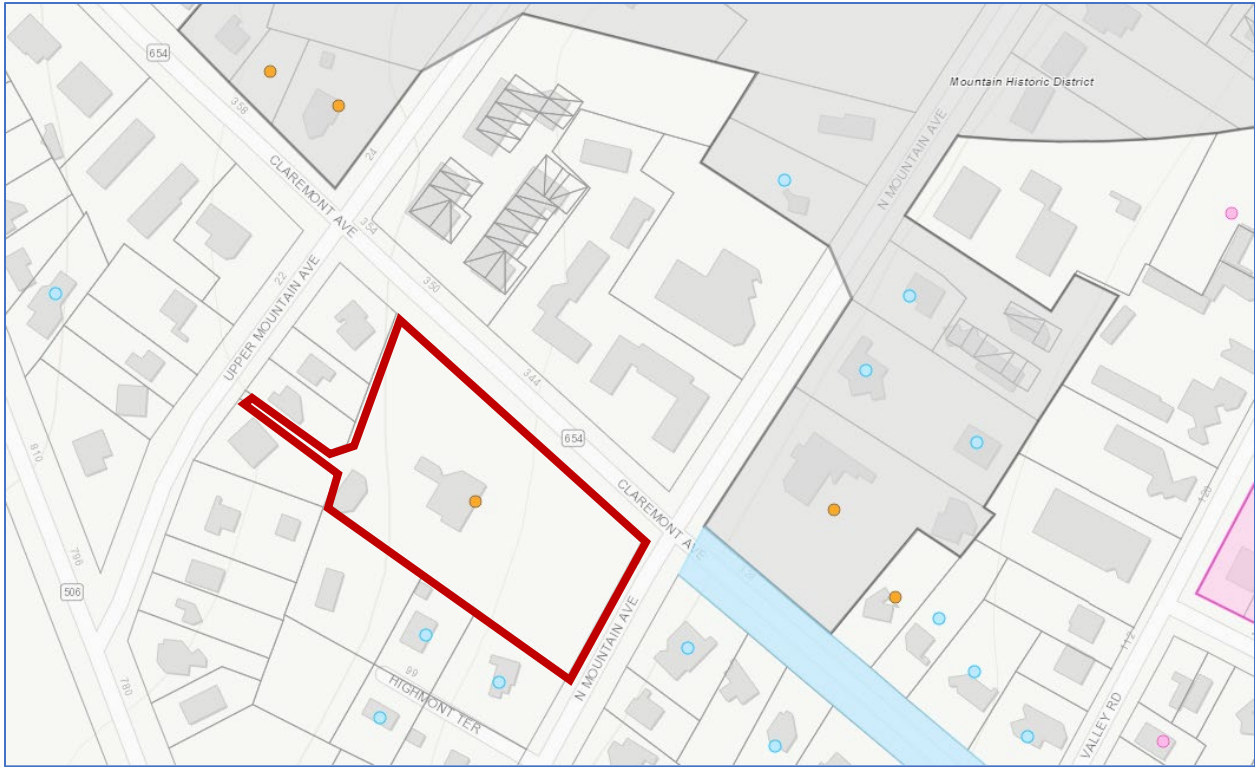


Figure 2: Subject property on Township Historic Inventory Viewer

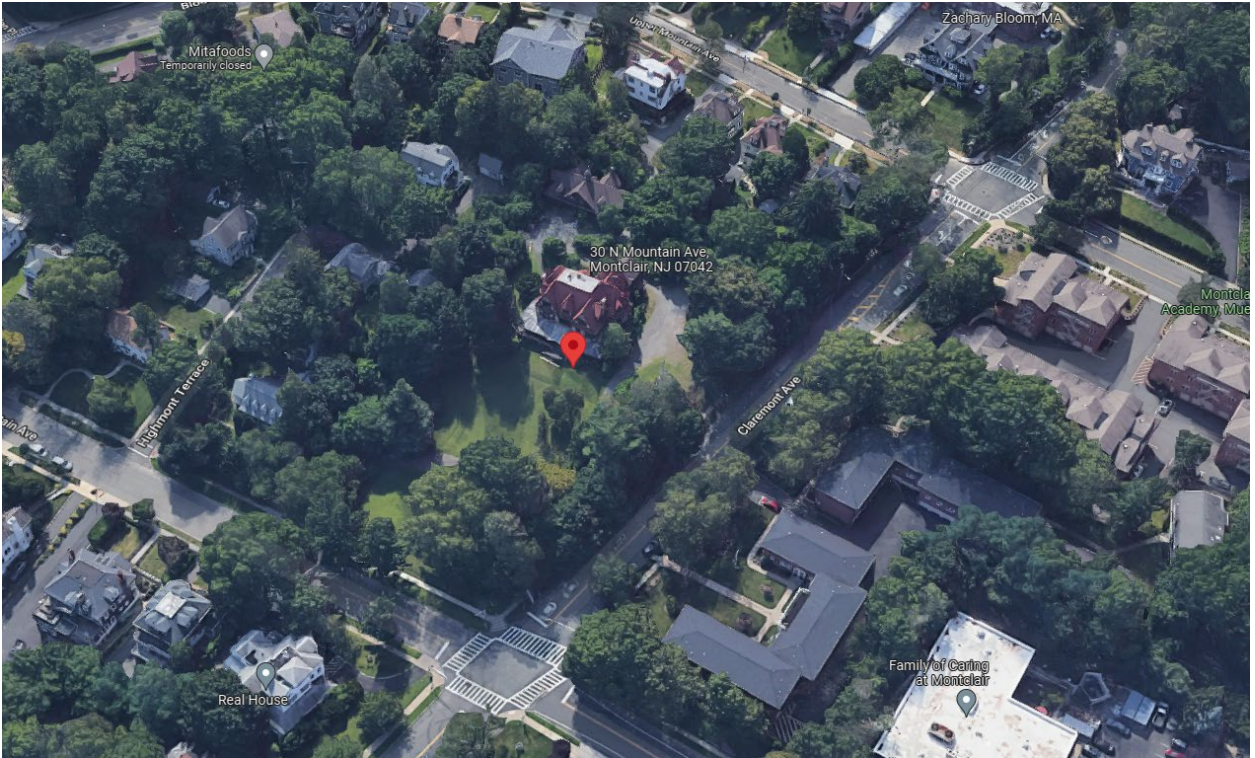


Figure 3: Aerial of subject property courtesy of Google Maps, 2022 imagery, facing west

## **Proposal**

The applicant began to make minor site changes to the property without first applying for a Certificate of Appropriateness, stating they were not aware such changes required an approval from the HPC. Therefore, some of the minor site modifications proposed for approval and outlined below have been completed, and some have not. There is a note beside each item stating as such. They are listed below in numeric order as identified on the submitted marked up copy of a property survey:

1. Construction of a 6-foot-wide concrete stair 12 feet spaced from the front porch steps. **Work completed. No building permit was submitted for this improvement. The applicant must submit a building permit application before this can be approved by the Commission. A railing for the stairs will most likely be required per the Uniform Construction Code.**
2. Construction of a 36-foot-long retaining wall using stones was found on the property. **Work not completed. Additional details have been submitted showing that the retaining wall will be two feet tall with a 3 inch crushed stone base.**
3. Installation of a permanent cedar wood pergola to the rear of the house. The pergola will be spaced approximately 28 feet from the rear of the house and 118 feet from the west property line. **The location of the pergola is shown on the revised survey and will require a building permit prior to installation to ensure proper footing. Work not completed.**
4. Installation of a stone walkway from reconstructed concrete stairs at the northwest corner of the property (note, the stones will be spaced further apart than in the example image provided). **Work not completed.**
5. Installation of Belgian block curbing for the first 10 feet of the driveway off North Mountain Avenue. **Work not completed.**
6. Installation of bluestone pavers at new walkway from stair on Claremont Avenue and for portions of the paved parking area on the north side of the house. **Work completed and photos provided.**
7. Installation of railroad ties adjacent to the sidewalk along Claremont Avenue. **Work not completed. If permitted, the railroad ties must be located on the property line. The ties cannot be located adjacent to the sidewalk as this is within the Township right-of-way.**
8. Installation of a copper gutter under the roof of the kitchen porch on the north side of the house. **Work not completed. Photo shows example of copper gutter.**

The plan identifies that no shade trees are to be removed.