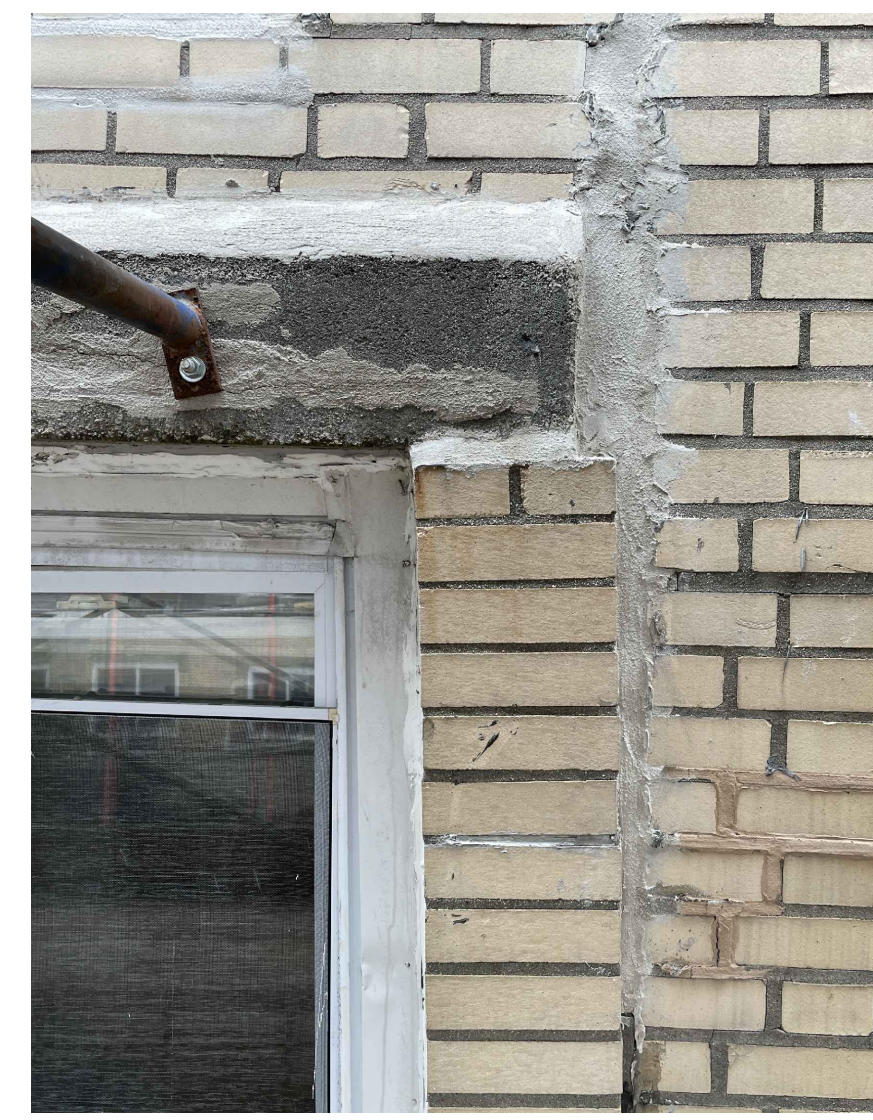




1 EXISTING FACADE  
SCALE: N.T.S.



2 EXISTING FACADE DETAIL  
SCALE: N.T.S.



3 EXISTING LINTEL  
SCALE: N.T.S.

PROJECT INFORMATION

1. SITE LOCATION : 330-346 Bloomfield Avenue, Montclair, New Jersey 07042
2. OWNER: 330 Bloom, LLC
3. NATURE OF APPLICATION: The subject property includes two buildings. This application's primary focus is the easterly building, 330-334 Bloomfield Avenue. This building is a 3-story brick edifice, circa 1900, with a full basement, containing retail spaces on the ground floor and apartments on the upper floors. Unfortunately, the existing facade is in very poor condition. It is leaking in several areas, is cracking in many others, and the parapet is overturning. Several lintels and a major storefront column are severely damaged.

This project proposes removing the existing face brick, retaining and stabilizing the inner wythes of masonry, and then installing new face brick to match what is currently there.

The entire parapet will be taken apart and rebuilt to match the original design exactly. The building currently has vinyl windows which are aging poorly; they will be replaced with new clad wood windows. Existing limestone elements will be salvaged and stockpiled for re-use to the greatest extent possible. The existing storefront bulkhead walls are covered in rough stucco; they will be replaced with historically-correct panels built out of wood or similar composite material.

The westerly building on the plot, the 2-story tall 334-346 Bloomfield Avenue, is in much better condition. We propose basic repainting, re-pointing, and flashing replacement there as required.

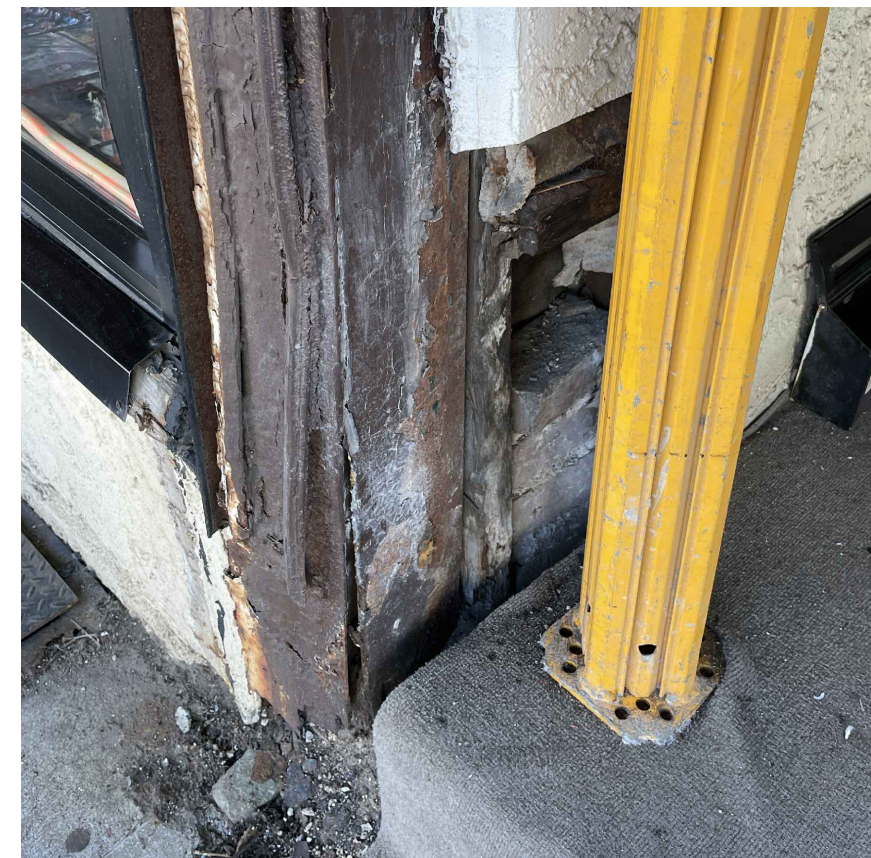
4. USE GROUP: M, B, & R-2
5. BLOCK: 3104 LOT: 21

DRAWING LIST:

- C1 PROPERTY SURVEY, AREA MAP, EXISTING PHOTOGRAPHS, PROJECT INFO
- A1 PROPOSED WORK
- A2 EXISTING CONDITIONS



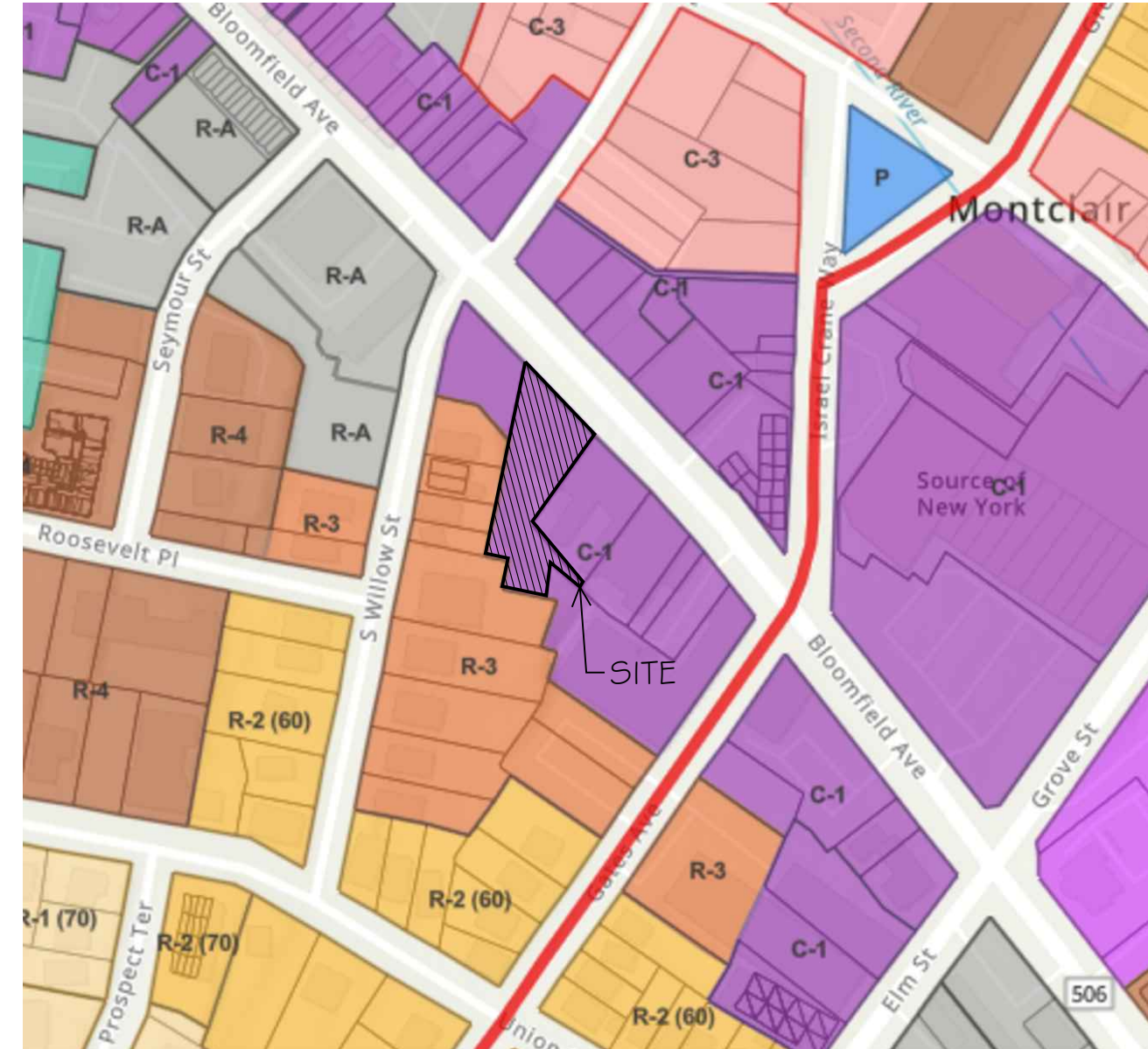
4 EXISTING LINTEL  
SCALE: N.T.S.



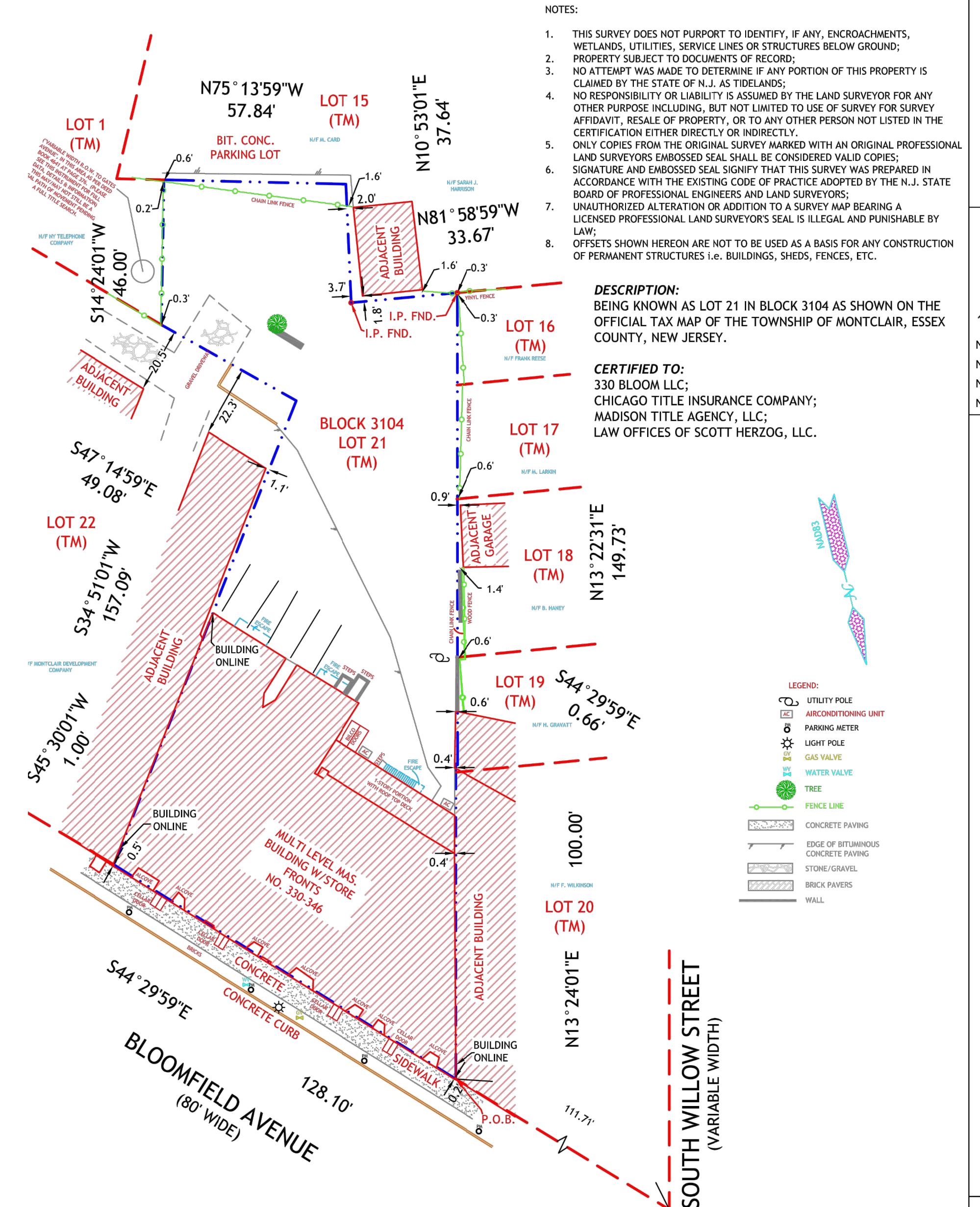
5 DAMAGED CENTRAL COLUMN  
SCALE: N.T.S.



6 EXISTING STOREFRONTS  
SCALE: N.T.S.



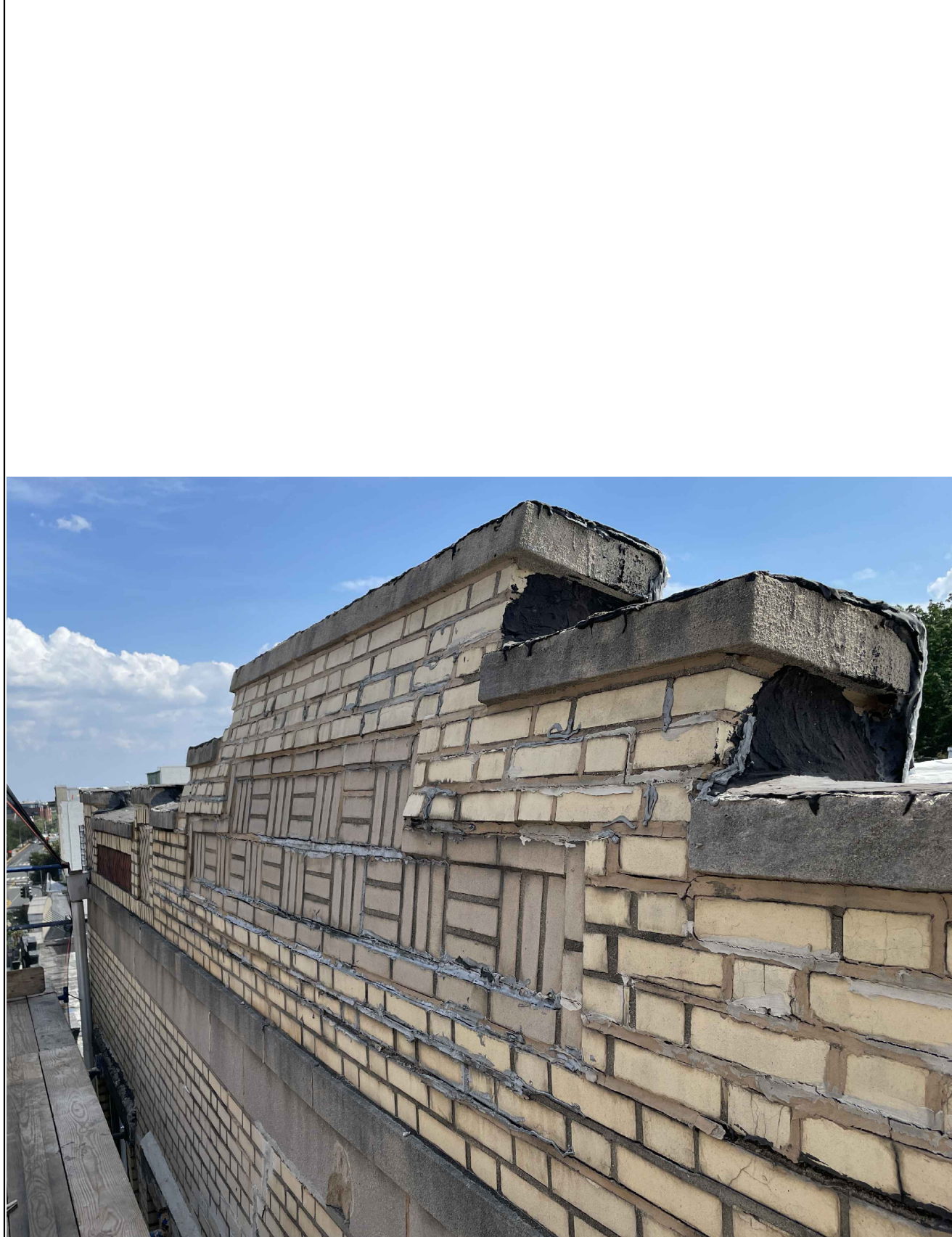
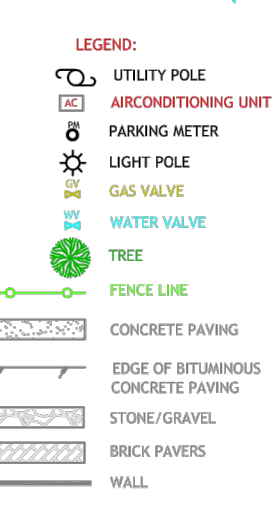
7 AREA MAP  
SCALE: 1" = 1/2 MILE  
SOURCE: MONTCLAIR PLANNING DEPARTMENT



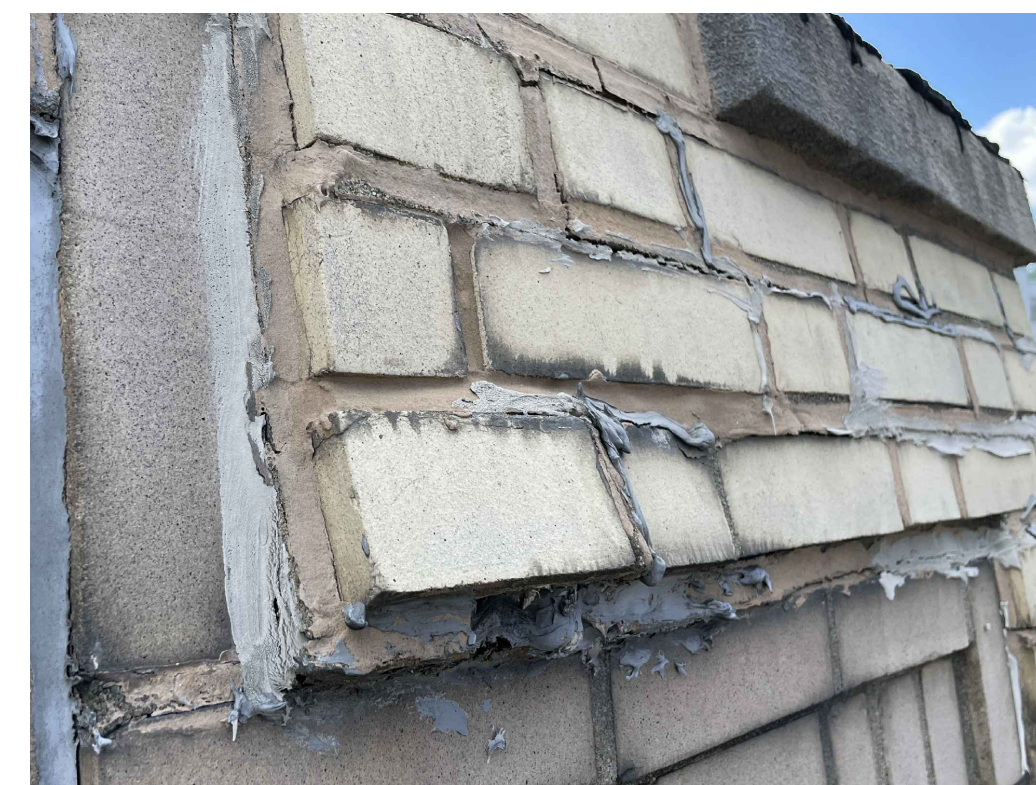
- NOTES:
1. THIS SURVEY DOES NOT PURPORT TO IDENTIFY, IF ANY, ENCROACHMENTS, WETLANDS, UTILITIES, SERVICE LINES OR STRUCTURES BELOW GROUND;
  2. PROPERTY SUBJECT TO DOCUMENTS OF RECORD;
  3. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF N.J. AS TIDELANDS;
  4. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE LAND SURVEYOR FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.
  5. ONLY COPIES FROM THE ORIGINAL SURVEY MARKED WITH AN ORIGINAL PROFESSIONAL LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID COPIES;
  6. SIGNATURE AND EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE N.J. STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS;
  7. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS ILLEGAL AND PUNISHABLE BY LAW;
  8. OFFSETS SHOWN HEREON ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION OF PERMANENT STRUCTURES I.E. BUILDINGS, SHEDS, FENCES, ETC.

DESCRIPTION:  
BEING KNOWN AS LOT 21 IN BLOCK 3104 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF MONTCLAIR, ESSEX COUNTY, NEW JERSEY.

CERTIFIED TO:  
330 BLOOM LLC;  
CHICAGO TITLE INSURANCE COMPANY;  
MADISON TITLE AGENCY, LLC;  
LAW OFFICES OF SCOTT HERZOG, LLC.



8 EXISTING PARAPET  
SCALE: N.T.S.



9 PARAPET BRICK DETAIL  
SCALE: N.T.S.



10 PARAPET BRICK DETAIL  
SCALE: N.T.S.

LEGEND

<ul style="list-style-type: none"> <li>○ JUNCTION BOX OR DIRECT WIRE</li> <li>○ SINGLE RECEPTACLE OUTLET</li> <li>○ DUPLEX RECEPTACLE OUTLET</li> <li>○ QUADPLEX RECEPTACLE OUTLET</li> <li>○ RECEPTACLE OUTLET</li> <li>○ EMERGENCY LIGHT FIXTURE</li> <li>○ WATERPROOF RECEPTACLE OUTLET</li> <li>○ GROUND FAULT INTERRUPTER OUTLET</li> <li>○ SPLIT WIRED RECEPTACLE OUTLET</li> <li>○ SINGLE POLE SWITCH</li> <li>○ THREE WAY SWITCH</li> <li>○ FOUR WAY SWITCH</li> <li>○ DIMMER SWITCH</li> <li>○ FAN CONTROLLER</li> <li>○ SWITCH W/ INDICATOR LIGHT</li> <li>○ CABLE TV JACK</li> <li>○ TELEPHONE OR DATA JACK</li> <li>○ DOOR CHIME BUTTON</li> <li>○ BELL, CHIME OR BUZZER</li> <li>○ L.E.D. LIGHT FIXTURE-SURFACE MOUNT</li> <li>○ L.E.D. LIGHT FIXTURE-WALL MOUNT</li> <li>○ L.E.D. LIGHT FIXTURE-RECESSED</li> <li>○ L.E.D. OR INCAND. LIGHT FIXTURE-W/ SWITCH OR PULL CHAIN</li> <li>○ HEAT LAMP</li> <li>○ CEILING FAN, VERSION W/ LIGHTS SHOWN HERE.</li> <li>○ FLOOR DRAIN</li> <li>○ MC MEDICINE CABINET</li> </ul>	<ul style="list-style-type: none"> <li>— LINEAR L.E.D. OR FLUORESCENT LIGHT FIXTURE</li> <li>— FLOOD LAMP HOLDER</li> <li>— EXHAUST FAN-DUCT TO EXTERIOR</li> <li>— ILLUMINATED EXIT LIGHT FIXTURE</li> <li>— 1-1/2 HR BATTERY BACK-UP</li> <li>— TYP.</li> <li>— TOB</li> <li>— CENTER LINE</li> <li>— DIAMETER</li> <li>— VERIFY IN FIELD</li> <li>— UNLESS OTHERWISE NOTED</li> <li>— SMOKE DETECTOR-HARD WIRED, BATTERY BACK-UP-INTERCONNECTED</li> <li>— STROBEBORN FIRE ALARM</li> <li>— CARBON MONOXIDE DETECTOR-HARD WIRED, BATTERY BACK-UP-INTERCONNECTED</li> <li>— NATURAL GAS OUTLET W/ SHUTOFF</li> <li>— HOSE BIB-FROST PROOF</li> <li>— THERMOSTAT</li> <li>— HVAC RETURN REGISTER</li> <li>— HVAC SUPPLY REGISTER</li> <li>— FIRE DAMPER - PROVIDE ACCESS TO RESET</li> <li>— RADIATOR</li> <li>— TOE KICK RADIATOR</li> <li>— KEYPAD</li> <li>— SOUND SYSTEM SPEAKER OUTLET</li> <li>— ROLL-DOWN FIRE SHUTTER</li> <li>— -M- MAGNETIC DOOR HOLD-OPEN</li> </ul>	<ul style="list-style-type: none"> <li>SP SPEAKER</li> <li>VH VANITY HEIGHT</li> <li>CH COUNTER HEIGHT</li> <li>ATP ABOVE FINISHED FLOOR</li> <li>TYP. TYPICAL</li> <li>TOB TOP OF BEAM</li> <li>CL CENTER LINE</li> <li>Ø DIAMETER</li> <li>VIF VERIFY IN FIELD</li> <li>UN UNLESS OTHERWISE NOTED</li> <li>NEW NON-RATED FRAMED CONSTRUCTION W/ INSULATION, SEE WALL TYPES SCHEDULE</li> <li>NEW NON-RATED UNINSULATED FRAMED CONSTRUCTION, SEE WALL TYPES SCHEDULE</li> <li>NEW 2-HOUR RATED FRAMED CONSTRUCTION, SEE WALL TYPES SCHEDULE</li> <li>NEW BRICK CONSTRUCTION, SEE WALL TYPES SCHEDULE</li> <li>NEW CONCRETE BLOCK CONSTRUCTION, SEE WALL TYPES SCHEDULE.</li> <li>NEW POURED CONCRETE CONSTRUCTION, SEE WALL TYPES SCHEDULE.</li> <li>EXISTING CONSTRUCTION, TO REMAIN, V.I.F. (PLAN)</li> <li>EXISTING CONSTRUCTION, TO REMAIN, V.I.F. (SECTION)</li> <li>EXISTING CONSTRUCTION, TO BE REMOVED, V.I.F.</li> </ul>
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11 PROPERTY SURVEY  
SCALE: 1" = 30'-0"

APPROVAL SIGNATURES & DATES

TOWNSHIP BOARD CHAIR	DATE:
TOWNSHIP BOARD SECRETARY	DATE:
TOWNSHIP ENGINEER	DATE:

EXISTING PHOTOGRAPHS

DATE: 11-28-2023

PROJECT No. 22039

SHEET No. C1

3 OF 3

REVISIONS

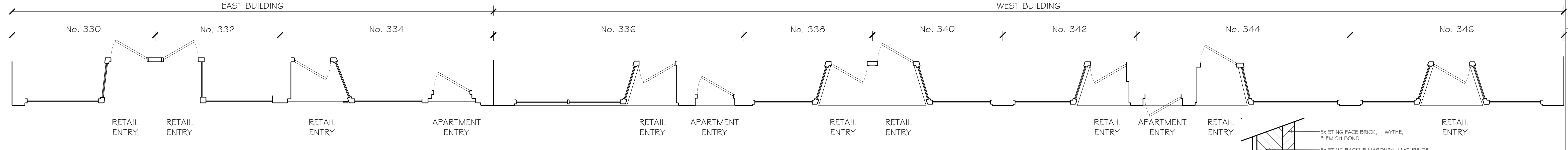
NO. DATE

FAÇADE RESTORATION ON THE EXISTING MIXED-USE BUILDINGS 330-346 BLOOMFIELD AVENUE MONTCLAIR, NEW JERSEY

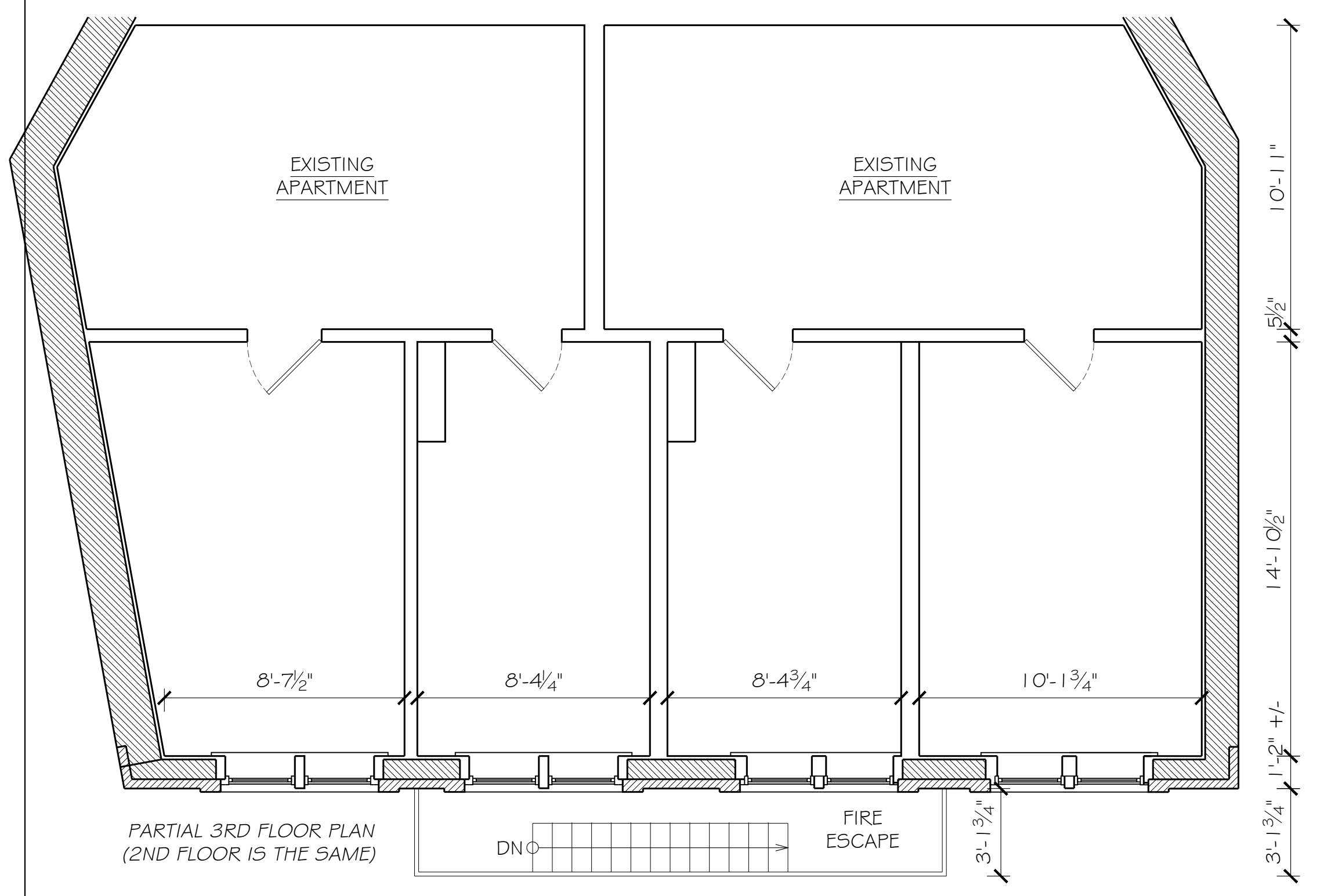
Sionas Architecture, P.C.  
ARCHITECTURE + LANDSCAPE ARCHITECTURE + PLANNING  
8 Hillside Avenue, Montclair, NJ 07042 (973) 783-2958  
www.SionasArchitecture.com



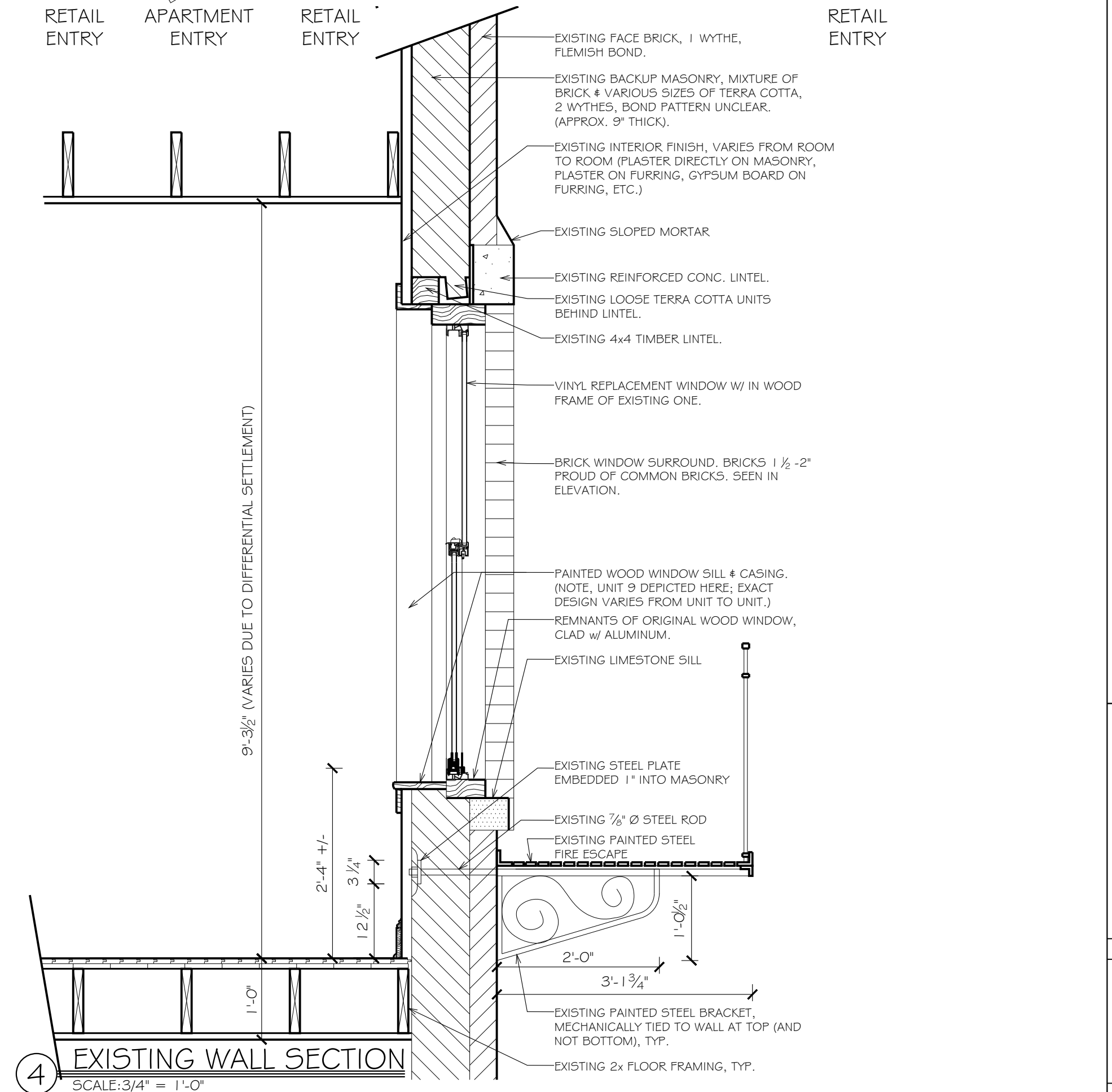




1 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING PARTIAL ROOF PLAN  
SCALE: 1/4" = 1'-0"



4 EXISTING WALL SECTION  
SCALE: 3/4" = 1'-0"

NO.	DATE	REVISIONS

**SIONAS ARCHITECTURE, P.C.**  
 FACADE RESTORATION ON THE  
 EXISTING MIXED-USE BUILDINGS  
 330-346 BLOOMFIELD AVENUE  
 MONTCLAIR, NEW JERSEY

N.J. AIO 8638 R.A.  
 N.Y. 018797-1 R.A.  
 N.J. ASO 0025 R.L.A.  
 N.J. LIO 3426 P.P.

**Siomas Architecture, P.C.**  
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 8 Hillside Avenue, Montclair, NJ 07042 (973) 783-2958  
 www.SionasArchitecture.com

EXISTING FACADE DRAWING  
 EXISTING PLANS  
 PROJECT No. 22039  
 DATE: 11-28-2023